

SPRINGFIELD TOWNSHIP
MONTGOMERY COUNTY, PA

AGENDA
WORKSHOP MEETING – BOARD OF COMMISSIONERS
NOVEMBER 7, 2022 – 7:00 PM

ZOOM MEETING ID: [829 2539 0154](https://us02web.zoom.us/j/82925390154)
[MEETING PASSCODE: TOWNSHIP](https://us02web.zoom.us/j/82925390154)

LINK TO LIVE BROADCAST: <https://us02web.zoom.us/j/82925390154>

PUBLIC COMMENT: Residents who plan to attend the meeting in person are encouraged to comment on agenda items or bring new business to the attention of the Board of Commissioners at the beginning of the meeting. Residents who will be attending remotely are encouraged to submit their comments or questions to the Township Manager prior to the close of the business day on the date of the meeting using the link below:

[SUBMIT PUBLIC COMMENT](#)

1. **Paper Mill Road and Bergan Road** – consider a request for a crossing guard at the subject intersection
2. **SEPTA Bus** – update regarding the proposed relocation of the “L” bus layover on Montgomery Avenue
3. **Resolution No. 1584** – a resolution honoring Robert “Bob” Gutowski for 24 years of service as a member of the Springfield Township Planning Commission
4. **Recycling Report** – review monthly recycling activities
5. **Shade Tree Commission** – consider appointing two alternate members to the shade tree commission
6. **Integrity Avenue Stormwater Improvements** – review proposed stormwater detention basin plan; consider authorization to execute temporary construction and permanent easement agreements with the impacted property owners
7. **Burton Road Stormwater Improvements** – review proposed stormwater detention basin plan; consider authorization to execute a temporary construction and stormwater operations and maintenance agreement with Sandy Run Country Club
8. **Township Manager’s Report** – discuss operational issues as outlined in the Monthly Report
9. **November Bill Listing** – review and approve the monthly bill listing and check reconciliation of the previous month
10. **2023 Budget Meeting Schedule** – announce the tentative meeting schedule through the adoption of the 2023 budget
11. **2023 Budget Presentation** – present the 2023 preliminary budget and continue discussions prior to adoption
12. **Zoning Hearing Board Agenda** – announce the agenda of any special or regular meeting of the Zoning Hearing Board
13. **Parks and Recreation Advisory Committee** – consider appointing two residents to the parks and recreation advisory committee
14. **Recreation Center Advisory Committee** – review of resumes and letters of interest received for the creation of an ad hoc master plan steering committee

NEW BUSINESS

MICHAEL TAYLOR
SECRETARY/MANAGER

AMT:cmt
11/2/22

NOTE: AGENDA ITEMS ARE SUBJECT TO CHANGE WITHOUT FURTHER NOTICE!

ANY INDIVIDUAL WITH A DISABILITY WISHING TO ATTEND THE ABOVE SCHEDULED MEETING AND REQUIRING AN AUXILIARY AID, SERVICE OR OTHER ACCOMMODATION TO PARTICIPATE IN THE PROCEEDINGS, PLEASE CONTACT THE OFFICE OF THE TOWNSHIP MANAGER AT 215-836-7600, 72 HOURS PRIOR TO THE MEETING.

To access the live broadcast of the meeting via zoom, residents can watch:

- VIA WEB BROWSER: Copy and paste this link into your web browser: <https://us02web.zoom.us/j/82925390154>; type in the passcode: TOWNSHIP, when prompted.
- VIA ZOOM APP: if you have the Zoom App on your smartphone, tablet, or computer, open the program, click join a meeting, and enter the Meeting ID: [829 2539 0154](#); type in the passcode: TOWNSHIP, when prompted.
- VIA CALL-IN: Dial +1 646 558 8656 and enter the Meeting ID: [829 2539 0154](#); type in the passcode: TOWNSHIP, when prompted.



RESOLUTION NO. 1584

WHEREAS, Robert “Bob” Gutowski was appointed as a member of the Springfield Township Planning Commission on May 13, 1998, and served continuously until his retirement earlier this year; and

WHEREAS, in January 2006, Bob was elected by his fellow planning commission members to serve as the Chairman of the Planning Commission, a position he held until 2020; and

WHEREAS, as a member and chairman of the Planning Commission, Bob was instrumental in proposing several planning amendments to the Township Zoning Code, the Township Subdivision and Land Development Ordinance, and the Township Comprehensive Plan, among others; and

WHEREAS, Mr. Gutowski has a strong foundational background in urban forestry, is a well-rounded horticulturist and is a mentor to many; and

WHEREAS, in September 2022 Bob retired as the Director of Visitor Experiences and Education for the Morris Arboretum of the University of Pennsylvania, where he was employed for the last 36 years; and

WHEREAS, as an employee of the Morris Arboretum, Bob played a vital role in the restoration of the historic Springfield Mill, and championed the Paper Mill Run wetlands restoration, and

WHEREAS, under date of June 28, 2022, Robert “Bob” Gutowski tendered his resignation from the Springfield Township Planning Commission effective September 20, 2022.

NOW, THEREFORE, BE IT RESOLVED that the Board of Commissioners of Springfield Township wishes to thank and commend Mr. Gutowski for his many years of tireless efforts and dedicated volunteerism for the good of the Springfield Township community, and extends its best wishes for a long, healthy and happy retirement.

BE IT FURTHER RESOLVED, that it is the intention of the Board of Commissioners to plant a tree at Cisco Park in honor of Bob’s outstanding service to Springfield Township.

UNANIMOUSLY ADOPTED this 9th day of November, 2022.

BOARD OF COMMISSIONERS OF
SPRINGFIELD TOWNSHIP

By: _____
James M. Lee, President

ATTEST:

A. Michael Taylor, Secretary

**RECYCLING REPORT
STATISTICAL DATA
FOR THE MONTH OF OCTOBER 2022**

	<u>THIS MONTH</u>	<u>YEAR TO DATE</u>	<u>2022 BUDGET</u>
Materials Collected (tons)			
Single Stream Recyclables	156.5	1,713.6	2,231
Householder Participation			
No. of Curb Stops	21,864	216,765	281,276
Percent of Total (7,200)	75.9	70.2	75.0
Avg. Lbs. per Curb Stop	14.3	15.8	15.9
Sales Value of Recyclables (net)			
Single Stream Recyclables (\$59.53)*	(9,316.45)	(28,980.87)	(101,323.33)
Disposal Savings/Cost Avoidance			
Authority Tipping Fee @ \$62.03	9,707.70	106,294.61	138,407.54
State Performance Grant			
Prorated Annual Award	2,470.42	24,704.20	29,645.00
Grand Total Sales/Savings	2,861.67	101,017.94	66,729.21
Cost of Collection (prorated)			
Labor and Overhead	(25,313.00)	(253,130.00)	(303,756.00)
Equipment Cost	(3,816.75)	(38,167.50)	(45,801.00)
General Expense/Recycling Center	(83.33)	(833.30)	(1,000.00)
Total Cost	(29,213.08)	(292,130.80)	(350,557.00)
Net Income and Saving	(26,351.41)	(191,112.86)	(283,827.79)

* Estimated (Sales value adjusts monthly)

GENERAL PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. THE PROPERTY LINES ARE AS SHOWN ON THE RECORD PLANS.
3. THE PROPOSED DRIVEWAY SHALL BE 10 FEET WIDE AT ALL TIMES.
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13. THE PROPOSED DRIVEWAY SHALL BE 10 FEET WIDE AT ALL TIMES.

BASE CONSTRUCTION GENERAL NOTES

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
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REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/21/2023
2	REVISED PER COMMENTS FROM PERMITS OFFICE	11/28/2023
3	REVISED PER COMMENTS FROM PERMITS OFFICE	12/05/2023



WOODROW & ASSOCIATES, INC.
 PROFESSIONAL ENGINEER
 LICENSE NO. 111111
 STATE OF OHIO

SPRINGFIELD
 TOWNSHIP
 PROJECT NO. 2023-0155
 SHEET NO. 1 OF 1

WOODROW & ASSOCIATES, INC.
 PROJECT NO. 2023-0155
 SHEET NO. 1 OF 1

PROJECT LOCATION



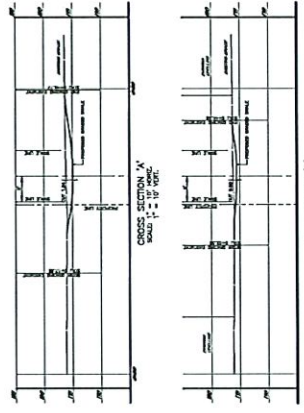
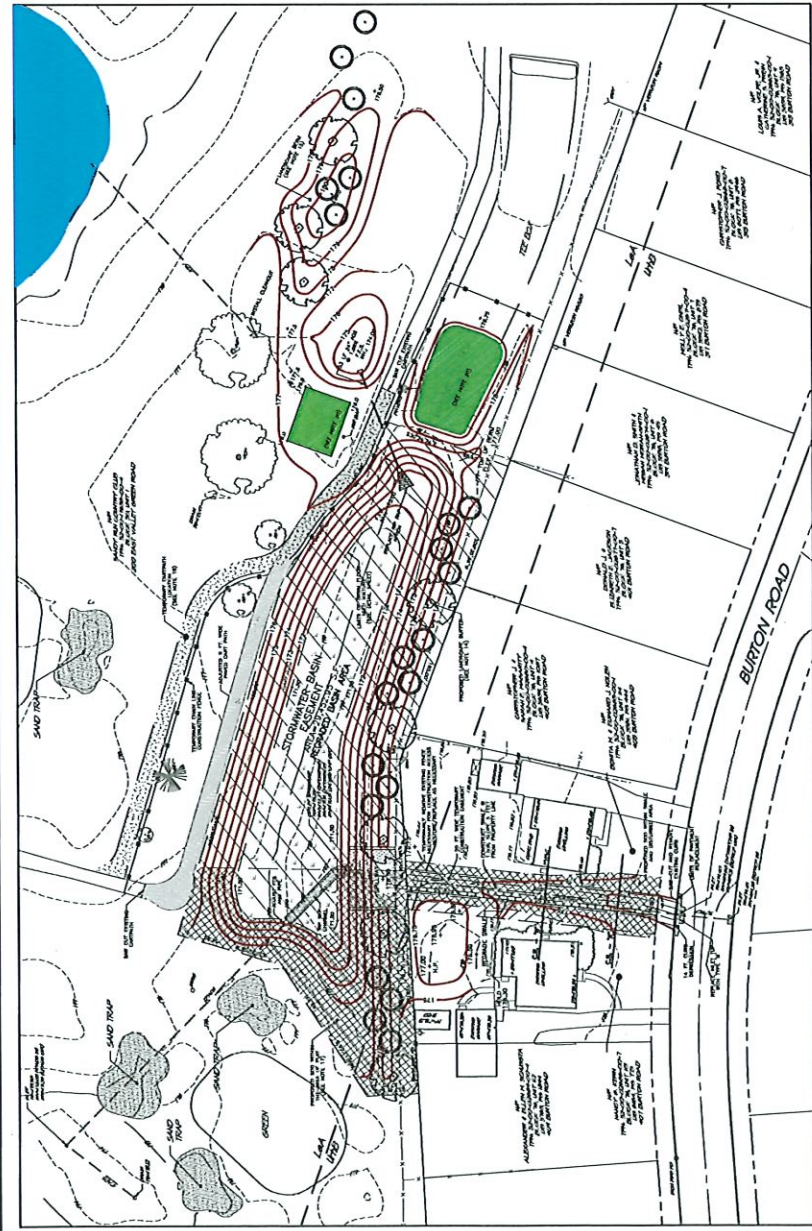
- ### PLAN LEGEND
- | | | | |
|-----|---------------------|-----|---------------------|
| --- | Property Line | --- | Proposed Footing |
| --- | Street Right-of-Way | --- | Proposed Drainage |
| --- | Proposed Footing | --- | Proposed Foundation |
| --- | Proposed Foundation | --- | Proposed Wall |
| --- | Proposed Wall | --- | Proposed Slab |
| --- | Proposed Slab | --- | Proposed Floor |
| --- | Proposed Floor | --- | Proposed Ceiling |
| --- | Proposed Ceiling | --- | Proposed Siding |
| --- | Proposed Siding | --- | Proposed Windows |
| --- | Proposed Windows | --- | Proposed Doors |
| --- | Proposed Doors | --- | Proposed Stairs |
| --- | Proposed Stairs | --- | Proposed Deck |
| --- | Proposed Deck | --- | Proposed Porch |
| --- | Proposed Porch | --- | Proposed Driveway |
| --- | Proposed Driveway | --- | Proposed Garage |
| --- | Proposed Garage | --- | Proposed Pool |
| --- | Proposed Pool | --- | Proposed Pond |
| --- | Proposed Pond | --- | Proposed Lake |
| --- | Proposed Lake | --- | Proposed Stream |
| --- | Proposed Stream | --- | Proposed Road |
| --- | Proposed Road | --- | Proposed Path |
| --- | Proposed Path | --- | Proposed Walkway |
| --- | Proposed Walkway | --- | Proposed Ramp |

GENERAL PLAN NOTES

1. All construction shall conform to the latest editions of the Pennsylvania Department of Transportation (PA DOT) Standard Specifications for Construction of Highways, Bridges, and Structures, and the Pennsylvania Department of Environmental Protection (PA DEP) Regulations for the Protection of Waters of the Commonwealth.
2. The contractor shall be responsible for obtaining all necessary permits from the appropriate agencies.
3. The contractor shall be responsible for obtaining all necessary easements and rights-of-way from the appropriate agencies.
4. The contractor shall be responsible for obtaining all necessary utility relocation permits from the appropriate agencies.
5. The contractor shall be responsible for obtaining all necessary construction permits from the appropriate agencies.
6. The contractor shall be responsible for obtaining all necessary environmental permits from the appropriate agencies.
7. The contractor shall be responsible for obtaining all necessary zoning permits from the appropriate agencies.
8. The contractor shall be responsible for obtaining all necessary subdivision permits from the appropriate agencies.
9. The contractor shall be responsible for obtaining all necessary recordation permits from the appropriate agencies.
10. The contractor shall be responsible for obtaining all necessary final approval permits from the appropriate agencies.

BASE CONSTRUCTION SPECIAL NOTES

1. The contractor shall be responsible for obtaining all necessary permits from the appropriate agencies.
2. The contractor shall be responsible for obtaining all necessary easements and rights-of-way from the appropriate agencies.
3. The contractor shall be responsible for obtaining all necessary utility relocation permits from the appropriate agencies.
4. The contractor shall be responsible for obtaining all necessary construction permits from the appropriate agencies.
5. The contractor shall be responsible for obtaining all necessary environmental permits from the appropriate agencies.
6. The contractor shall be responsible for obtaining all necessary zoning permits from the appropriate agencies.
7. The contractor shall be responsible for obtaining all necessary subdivision permits from the appropriate agencies.
8. The contractor shall be responsible for obtaining all necessary recordation permits from the appropriate agencies.
9. The contractor shall be responsible for obtaining all necessary final approval permits from the appropriate agencies.
10. The contractor shall be responsible for obtaining all necessary final approval permits from the appropriate agencies.



PLANTING SCHEDULE

Plant	Quantity	Notes
...

- EXISTING FEATURES LEGEND**
- ...
 - ...
 - ...
 - ...
 - ...

REVISIONS

No.	Date	Description
1

WOODROW & ASSOCIATES, INC.
 1125 North 10th Street, Suite 200
 Harrisburg, PA 17104
 Phone: 717-633-1100
 Fax: 717-633-1101

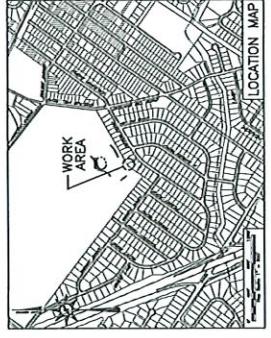
DRAINAGE IMPROVEMENTS PLAN
SANDY RUN COUNTRY CLUB
 GREENSBORO TOWNSHIP - MONROE COUNTY - PENNSYLVANIA

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 1125 North 10th Street, Suite 200
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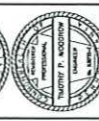


GENERAL PLAN NOTES

1. SEE EXISTING EXHAUSTION AND SEWER LINES.
2. ALL EXISTING UTILITIES ARE TO BE MAINTAINED AND PROTECTED. ANY NECESSARY CROSSINGS SHALL BE MAINTAINED AND PROTECTED. ANY NECESSARY CROSSINGS SHALL BE MAINTAINED AND PROTECTED.
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REVISIONS

NO.	DATE	DESCRIPTION
1	07/15/2021	ISSUED FOR PERMITS
2	07/15/2021	ISSUED FOR PERMITS
3	07/15/2021	ISSUED FOR PERMITS
4	07/15/2021	ISSUED FOR PERMITS
5	07/15/2021	ISSUED FOR PERMITS
6	07/15/2021	ISSUED FOR PERMITS
7	07/15/2021	ISSUED FOR PERMITS
8	07/15/2021	ISSUED FOR PERMITS
9	07/15/2021	ISSUED FOR PERMITS
10	07/15/2021	ISSUED FOR PERMITS



PROJECT SHEET NUMBER FOR RECORD
 PROJECT NO. 20-1108-00
 SHEET NO. 20-1108-00-02

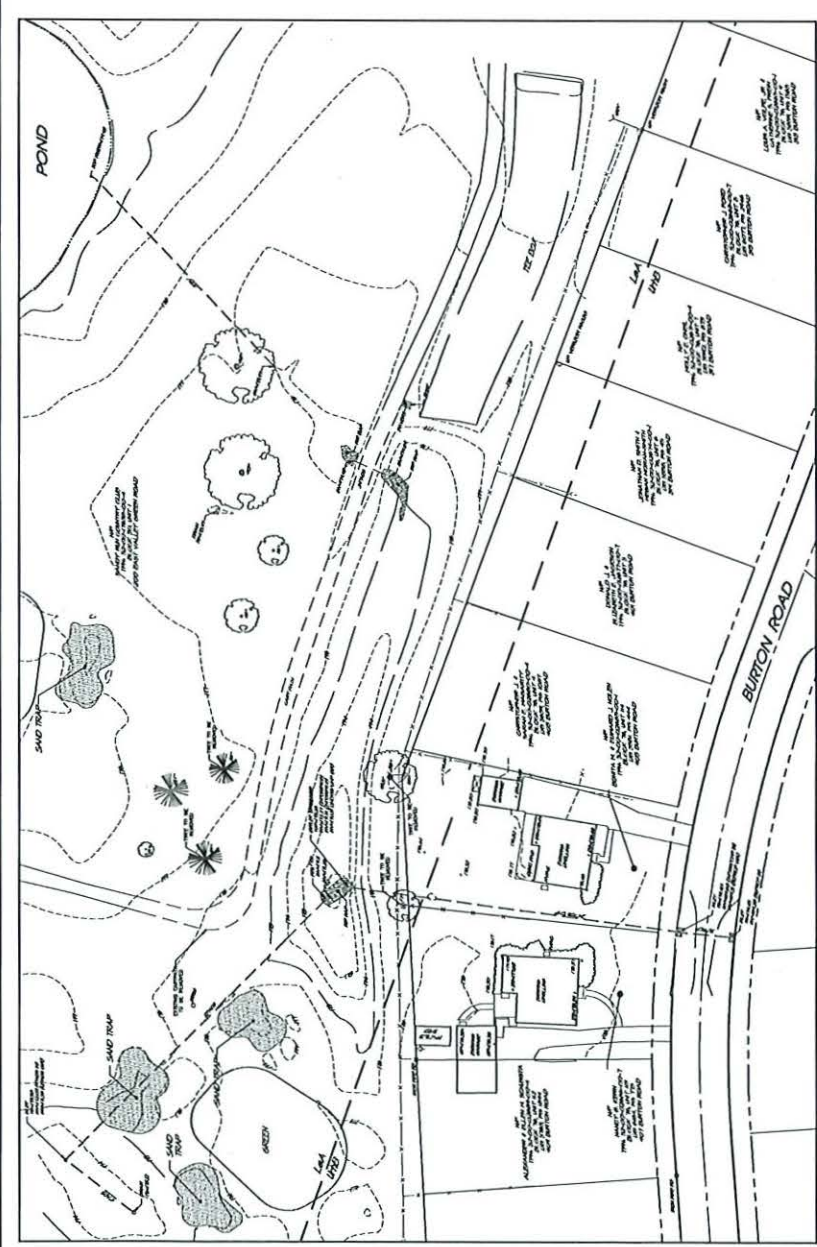
Client: Sandy Run Country Club
 130 E. Main Street, Suite 100
 Greentown, PA 19023

Scale: 1" = 40'
 Date: 07/15/2021

WOODROW & ASSOCIATES, INC.
 REGISTERED PROFESSIONAL ENGINEERS
 1128 North 22nd Street, Suite 202, Philadelphia, PA 19103
 (215) 625-1100

DATE: 07/15/2021
 SHEET NO.: 20-1108-00-02
 PROJECT NO.: 20-1108-00

2 of 5



PROJECT DATA

Item	Description	Quantity	Unit
Excavation	18' x 36'	5	ft ³
Backfill	18' x 36'	5	ft ³
Gravel	18' x 36'	5	ft ³
Asphalt	18' x 36'	5	ft ²
Concrete	18' x 36'	5	ft ²
Rebar	18' x 36'	5	ft
Formwork	18' x 36'	5	ft ²
Paint	18' x 36'	5	ft ²
Signage	18' x 36'	5	ft ²
Lighting	18' x 36'	5	ft ²
Landscaping	18' x 36'	5	ft ²
Drainage	18' x 36'	5	ft ²
Structures	18' x 36'	5	ft ²
Utilities	18' x 36'	5	ft ²
Other	18' x 36'	5	ft ²

EXISTING FEATURES LEGEND

Symbol	Description
—	Proposed Features
- - -	Existing Features
⊕	Existing Utility
⊙	Proposed Utility
⊗	Existing Structure
⊘	Proposed Structure
⊚	Existing Landscaping
⊛	Proposed Landscaping
⊜	Existing Drainage
⊝	Proposed Drainage
⊞	Existing Structures
⊟	Proposed Structures
⊠	Existing Utilities
⊡	Proposed Utilities
⊢	Other
⊣	Other
⊤	Other
⊥	Other
⊦	Other
⊧	Other
⊨	Other
⊩	Other
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⊽	Other
⊾	Other
⊿	Other

Station	Description	Station	Description
1+00	...	4+50	...
2+00	...	5+00	...
3+00	...	6+00	...
4+00	...	7+00	...
5+00	...	8+00	...
6+00	...	9+00	...
7+00	...	10+00	...
8+00	...	11+00	...
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97+00	...	100+00	...

MAINTENANCE PROGRAM For EROSION & SEDIMENT CONTROL MEASURES

After construction is complete, the contractor shall maintain the erosion and sediment control measures in good working order until the site is stabilized and the final landscape plan is implemented. The contractor shall be responsible for the maintenance and repair of all erosion and sediment control measures. The maintenance program shall include the following items:

DAILY MAINTENANCE
 1. All erosion and sediment control measures shall be inspected daily to ensure they are functioning properly. If any measures are found to be damaged or ineffective, they shall be repaired immediately.
 2. All erosion and sediment control measures shall be kept free of debris, rocks, and other obstructions. Any debris shall be removed and disposed of properly.
 3. All erosion and sediment control measures shall be inspected after heavy rain or other weather events to ensure they are still functioning properly.
 4. All erosion and sediment control measures shall be inspected weekly to ensure they are functioning properly.
 5. All erosion and sediment control measures shall be inspected monthly to ensure they are functioning properly.
 6. All erosion and sediment control measures shall be inspected quarterly to ensure they are functioning properly.
 7. All erosion and sediment control measures shall be inspected semi-annually to ensure they are functioning properly.
 8. All erosion and sediment control measures shall be inspected annually to ensure they are functioning properly.
 9. All erosion and sediment control measures shall be inspected after any major construction activity to ensure they are still functioning properly.
 10. All erosion and sediment control measures shall be inspected after any major weather event to ensure they are still functioning properly.
 11. All erosion and sediment control measures shall be inspected after any major site disturbance to ensure they are still functioning properly.
 12. All erosion and sediment control measures shall be inspected after any major site excavation to ensure they are still functioning properly.
 13. All erosion and sediment control measures shall be inspected after any major site grading to ensure they are still functioning properly.
 14. All erosion and sediment control measures shall be inspected after any major site compaction to ensure they are still functioning properly.
 15. All erosion and sediment control measures shall be inspected after any major site regrading to ensure they are still functioning properly.
 16. All erosion and sediment control measures shall be inspected after any major site stabilization to ensure they are still functioning properly.
 17. All erosion and sediment control measures shall be inspected after any major site revegetation to ensure they are still functioning properly.
 18. All erosion and sediment control measures shall be inspected after any major site final grading to ensure they are still functioning properly.
 19. All erosion and sediment control measures shall be inspected after any major site final compaction to ensure they are still functioning properly.
 20. All erosion and sediment control measures shall be inspected after any major site final regrading to ensure they are still functioning properly.

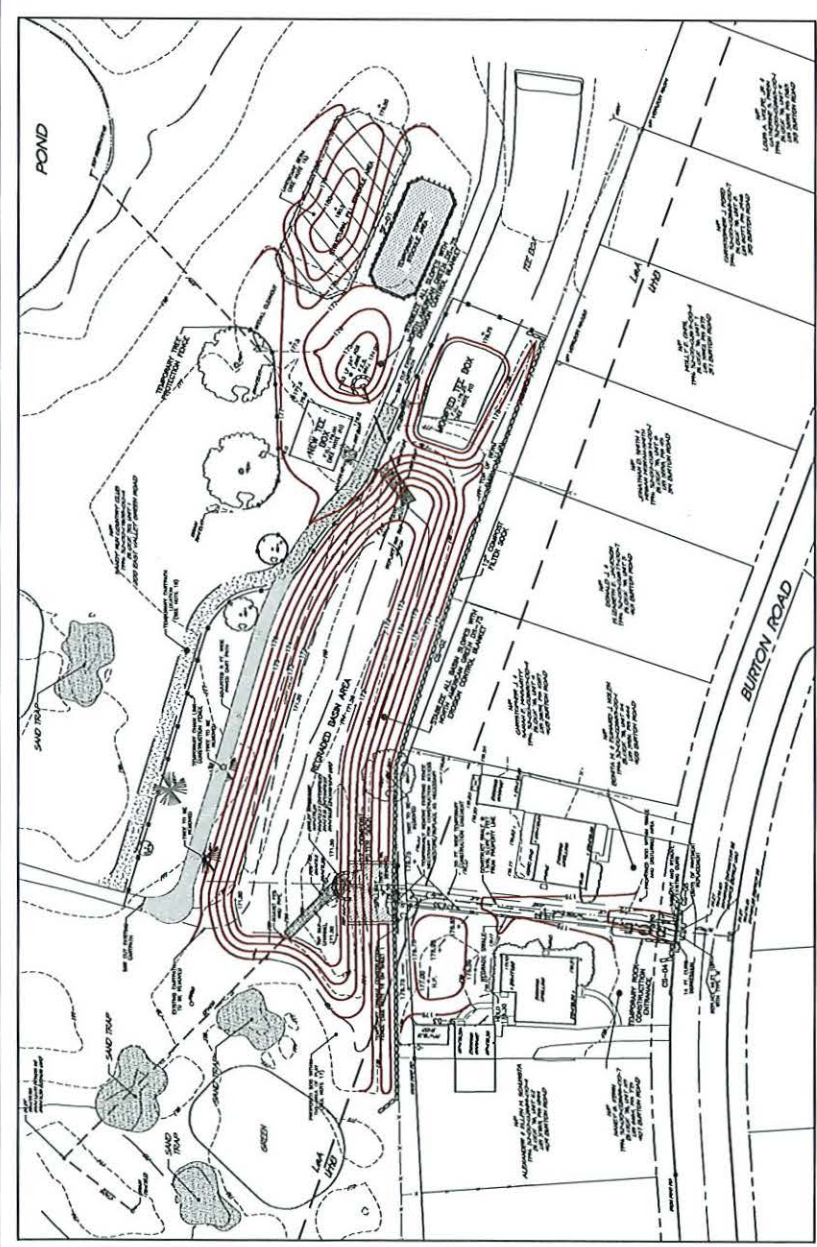
LIMITATION OF SOILS PERTAINING TO EXISTING WORK

SOIL NAME	STRAINING	PERCENT PASSING
CLAY	20	10
SILT	75	75
SAND	5	15
FINE SAND	15	30
MEDIUM SAND	10	20
COARSE SAND	5	10
GRAVEL	5	10
COARSE GRAVEL	5	10
FINE GRAVEL	5	10
VERY FINE SAND	5	10
VERY FINE SILT	5	10
VERY FINE CLAY	5	10

EROSION & SEDIMENT CONTROL PLAN

PROJECT DATA

PROJECT NAME: Sandy Run Country Club
PROJECT NO.: 111111
DATE: 11/11/2021
SCALE: 1" = 40' (AS SHOWN)
PROJECT LOCATION: Sandy Run Country Club, 111111 Sandy Run Road, Sandy Run, PA 17098
DESIGNED BY: [Firm Name]
CHECKED BY: [Firm Name]



CONSTRUCTION SEQUENCE

1. Obtain all permits and approvals from the relevant authorities.
2. Clear the site of all vegetation and debris.
3. Establish the construction site layout and boundaries.
4. Install the erosion and sediment control measures.
5. Excavate and grade the site to the required elevations.
6. Construct the foundation and walls of the structures.
7. Erect the roof structure of the structures.
8. Complete the exterior walls and finishes of the structures.
9. Install the interior finishes and fixtures of the structures.
10. Connect the utilities to the structures.
11. Landscaping and site restoration.
12. Final grading and compaction.
13. Final inspection and approval.
14. Handover of the site to the owner.

GENERAL PLAN NOTES

1. SEE ATTACHED EROSION & SEDIMENT CONTROL PLAN FOR DETAILED INFORMATION.

2. THE CONTRACTOR SHALL MAINTAIN ALL EROSION & SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER THROUGHOUT CONSTRUCTION.

3. ALL EROSION & SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION & SEDIMENT CONTROL MEASURES.

5. ALL EROSION & SEDIMENT CONTROL MEASURES SHALL BE REMOVED AND THE SITE RESTORED TO ORIGINAL CONDITIONS UPON COMPLETION OF CONSTRUCTION.

SILT FENCE SCHEDULE

Fence No.	Location	Fence Type	Height	Material	Length (ft)
SF-01	...	12' CONCRETE	48"	CONCRETE	175
SF-02	...	4' CONCRETE	48"	CONCRETE	45
SF-03	...	6' CONCRETE	48"	CONCRETE	28
SF-04	...	12' CONCRETE	48"	CONCRETE	28
SF-05	...	6' CONCRETE	48"	CONCRETE	28

PROJECT DATA

Item	Value
Scale	1" = 40'
Sheet No.	1 of 1
Date	11/11/2021
Project No.	111111

PLAN LEGEND

Symbol	Description
(Dashed line)	Proposed Field Center
(Solid line)	Existing Field Center
(Dotted line)	Proposed Fencing
(Dash-dot line)	Existing Fencing
(Thick solid line)	Proposed Driveway
(Thin solid line)	Existing Driveway
(Dashed line with dots)	Proposed Utility Line
(Thin solid line with dots)	Existing Utility Line
(Dashed line with triangles)	Proposed Erosion Control
(Thin solid line with triangles)	Existing Erosion Control

SEAL

11/11/2021

3 of 5

DATE: 11/11/2021



REVISIONS

NO.	DATE	DESCRIPTION
1	08/17/21	ISSUED FOR PERMIT
2	08/17/21	ISSUED FOR PERMIT
3	08/17/21	ISSUED FOR PERMIT
4	08/17/21	ISSUED FOR PERMIT
5	08/17/21	ISSUED FOR PERMIT
6	08/17/21	ISSUED FOR PERMIT
7	08/17/21	ISSUED FOR PERMIT
8	08/17/21	ISSUED FOR PERMIT
9	08/17/21	ISSUED FOR PERMIT
10	08/17/21	ISSUED FOR PERMIT
11	08/17/21	ISSUED FOR PERMIT
12	08/17/21	ISSUED FOR PERMIT
13	08/17/21	ISSUED FOR PERMIT
14	08/17/21	ISSUED FOR PERMIT
15	08/17/21	ISSUED FOR PERMIT
16	08/17/21	ISSUED FOR PERMIT
17	08/17/21	ISSUED FOR PERMIT
18	08/17/21	ISSUED FOR PERMIT
19	08/17/21	ISSUED FOR PERMIT
20	08/17/21	ISSUED FOR PERMIT

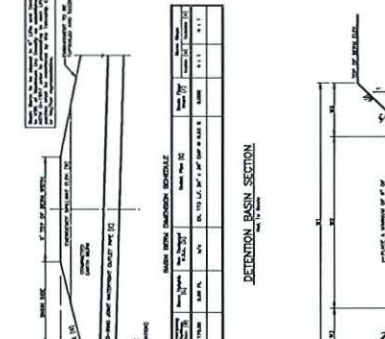
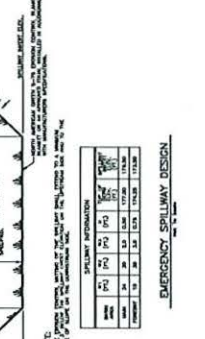
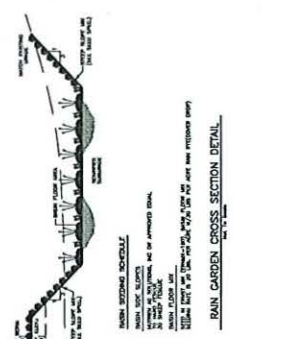
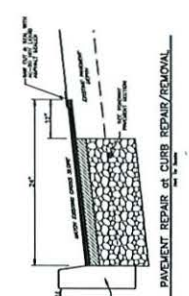
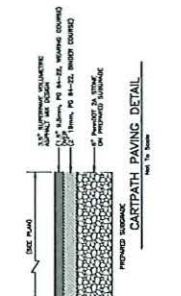
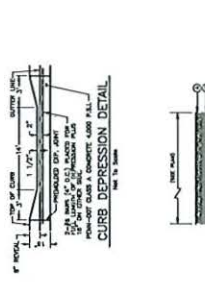
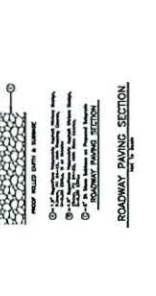
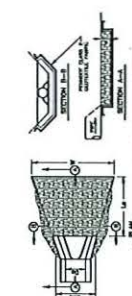
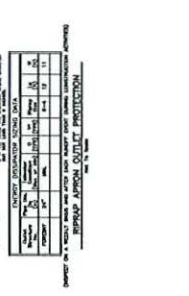


TABLE 1 - SCHEDULE

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	PRICE	TOTAL
1	CONCRETE	CU YD	100	100.00	10000.00
2	STEEL	TON	10	1000.00	10000.00
3	GRANULAR FILL	CU YD	200	200.00	40000.00
4	GRANULAR FILL	CU YD	100	100.00	10000.00
5	GRANULAR FILL	CU YD	50	50.00	5000.00
6	GRANULAR FILL	CU YD	25	25.00	2500.00
7	GRANULAR FILL	CU YD	12.5	12.50	1250.00
8	GRANULAR FILL	CU YD	6.25	6.25	625.00
9	GRANULAR FILL	CU YD	3.125	3.125	312.50
10	GRANULAR FILL	CU YD	1.5625	1.5625	156.25
11	GRANULAR FILL	CU YD	0.78125	0.78125	78.125
12	GRANULAR FILL	CU YD	0.390625	0.390625	39.0625
13	GRANULAR FILL	CU YD	0.1953125	0.1953125	19.53125
14	GRANULAR FILL	CU YD	0.09765625	0.09765625	9.765625
15	GRANULAR FILL	CU YD	0.048828125	0.048828125	4.8828125
16	GRANULAR FILL	CU YD	0.0244140625	0.0244140625	2.44140625
17	GRANULAR FILL	CU YD	0.01220703125	0.01220703125	1.220703125
18	GRANULAR FILL	CU YD	0.006103515625	0.006103515625	0.6103515625
19	GRANULAR FILL	CU YD	0.0030517578125	0.0030517578125	0.30517578125
20	GRANULAR FILL	CU YD	0.00152587890625	0.00152587890625	0.152587890625

TABLE 2 - SCHEDULE

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	PRICE	TOTAL
1	CONCRETE	CU YD	100	100.00	10000.00
2	STEEL	TON	10	1000.00	10000.00
3	GRANULAR FILL	CU YD	200	200.00	40000.00
4	GRANULAR FILL	CU YD	100	100.00	10000.00
5	GRANULAR FILL	CU YD	50	50.00	5000.00
6	GRANULAR FILL	CU YD	25	25.00	2500.00
7	GRANULAR FILL	CU YD	12.5	12.50	1250.00
8	GRANULAR FILL	CU YD	6.25	6.25	625.00
9	GRANULAR FILL	CU YD	3.125	3.125	312.50
10	GRANULAR FILL	CU YD	1.5625	1.5625	156.25
11	GRANULAR FILL	CU YD	0.78125	0.78125	78.125
12	GRANULAR FILL	CU YD	0.390625	0.390625	39.0625
13	GRANULAR FILL	CU YD	0.1953125	0.1953125	19.53125
14	GRANULAR FILL	CU YD	0.09765625	0.09765625	9.765625
15	GRANULAR FILL	CU YD	0.048828125	0.048828125	4.8828125
16	GRANULAR FILL	CU YD	0.0244140625	0.0244140625	2.44140625
17	GRANULAR FILL	CU YD	0.01220703125	0.01220703125	1.220703125
18	GRANULAR FILL	CU YD	0.006103515625	0.006103515625	0.6103515625
19	GRANULAR FILL	CU YD	0.0030517578125	0.0030517578125	0.30517578125
20	GRANULAR FILL	CU YD	0.00152587890625	0.00152587890625	0.152587890625

TABLE 3 - SCHEDULE

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	PRICE	TOTAL
1	CONCRETE	CU YD	100	100.00	10000.00
2	STEEL	TON	10	1000.00	10000.00
3	GRANULAR FILL	CU YD	200	200.00	40000.00
4	GRANULAR FILL	CU YD	100	100.00	10000.00
5	GRANULAR FILL	CU YD	50	50.00	5000.00
6	GRANULAR FILL	CU YD	25	25.00	2500.00
7	GRANULAR FILL	CU YD	12.5	12.50	1250.00
8	GRANULAR FILL	CU YD	6.25	6.25	625.00
9	GRANULAR FILL	CU YD	3.125	3.125	312.50
10	GRANULAR FILL	CU YD	1.5625	1.5625	156.25
11	GRANULAR FILL	CU YD	0.78125	0.78125	78.125
12	GRANULAR FILL	CU YD	0.390625	0.390625	39.0625
13	GRANULAR FILL	CU YD	0.1953125	0.1953125	19.53125
14	GRANULAR FILL	CU YD	0.09765625	0.09765625	9.765625
15	GRANULAR FILL	CU YD	0.048828125	0.048828125	4.8828125
16	GRANULAR FILL	CU YD	0.0244140625	0.0244140625	2.44140625
17	GRANULAR FILL	CU YD	0.01220703125	0.01220703125	1.220703125
18	GRANULAR FILL	CU YD	0.006103515625	0.006103515625	0.6103515625
19	GRANULAR FILL	CU YD	0.0030517578125	0.0030517578125	0.30517578125
20	GRANULAR FILL	CU YD	0.00152587890625	0.00152587890625	0.152587890625

15' 0' 30'

Scale in Feet (1" = 30')

THIS PLAN HAS BEEN PREPARED SPECIFICALLY FOR THE APPLICANT AND ANY MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE SIGNATURE OF KEVIN F. GIBBONS & ASSOCIATES, INC. IS PROHIBITED.

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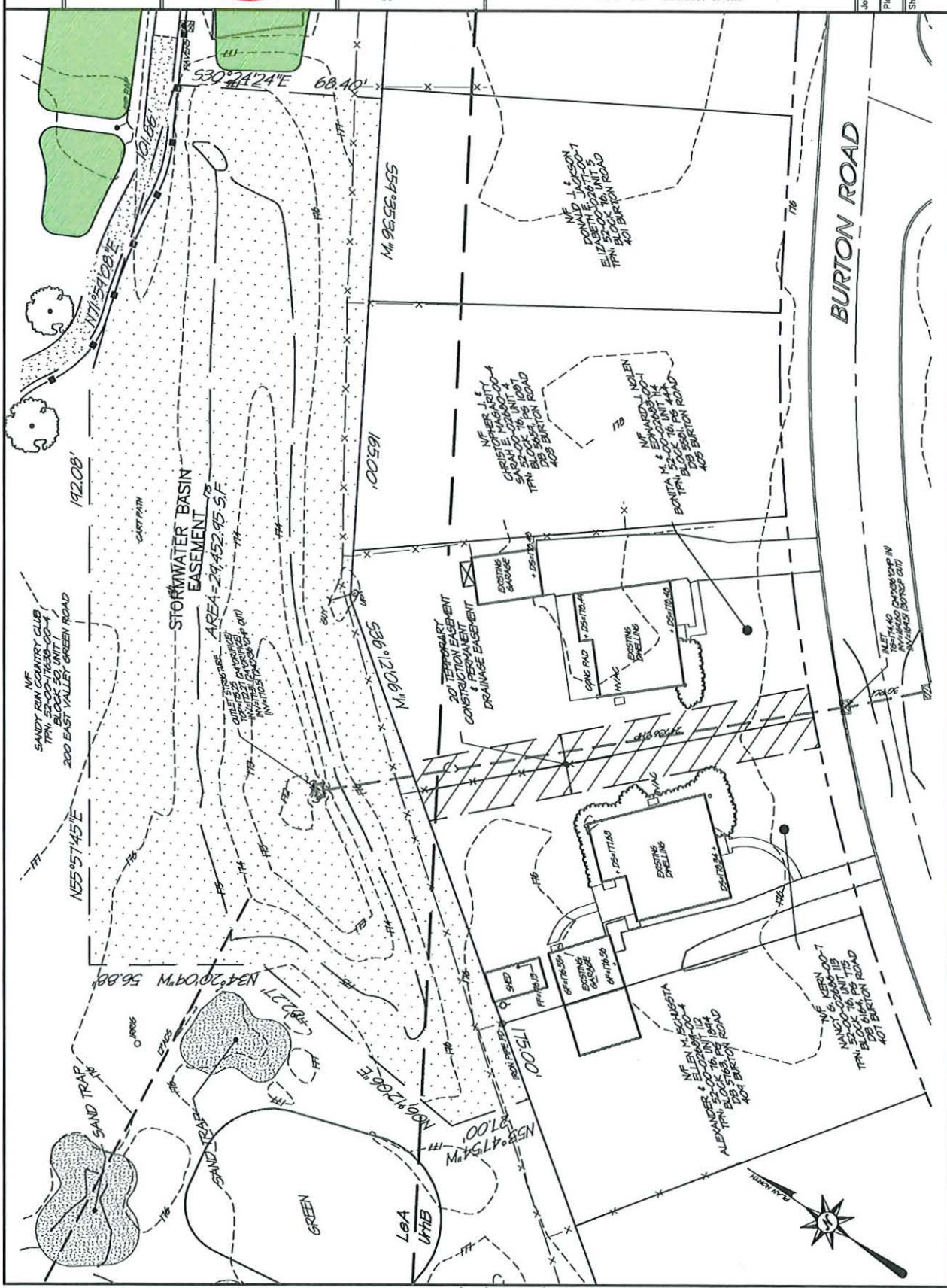
Sandy Run Country Club
200 E. Valley Green Road
Oreland, PA 19075

WOODROW & ASSOCIATES, INC.
MONTGOMERY COUNTY - PENNSYLVANIA
SPRINGFIELD TOWNSHIP
SANDY RUN COUNTRY CLUB
STORMWATER BASIN EASEMENT EXHIBIT PLAN

1108 North Bethlehem Pike / Suite 5 - East Greenville, PA 19002
Phone: (215) 542-5648 Fax: (215) 542-5678
Web: www.woodrowinc.com



Job No: 20-1108 SP
Plan Date: JULY 12, 2021
Sheet No: 1 of 1



2023 BUDGET STATEMENT
SPRINGFIELD TOWNSHIP, MONTGOMERY COUNTY, PA

The Springfield Township Board of Commissioners proposes a balanced operating budget for 2023 of \$18,697,151 with a real estate tax rate of 4.516 mills and an earned income tax rate of 1.0%.

2023 REAL ESTATE TAX RATE

General Purpose Tax (Max. 30 Mills)	4.516 Mills
Court Approved (Max. 5 Mills)	0 Mills
Special Purpose Taxes	<u>0 Mills</u>
	4.516 Mills

To summarize the impact on the “typical” residential taxpayer as a result of the 2023 budget projections, the taxpayer will realize no change to their 2023 real estate tax, and a \$12.56 increase to the annual refuse service fee. The 2022 real estate tax rate was the same as 2021, and the 2022 refuse service fee was \$6.32 less than the 2021 refuse service fee.

The “typical” household in Springfield Township with a \$175,400 property assessment will pay \$792.10 in real estate taxes in 2023, which is the same as in 2022 and 2021. The Township is able to maintain the same tax rate as in 2022 due to revenue increases associated with the earned income and other local enabling taxes, together with decreases in capital expenses and recycling processing fees. These savings are offset by anticipated increases in employee wages and benefits, property, liability and workers compensation insurance premiums, medical benefits and contributions to the volunteer fire companies.

The 2023 *discounted* refuse service fee will increase from \$225.54 to \$238.10, or 5.6% per household due to increases in waste disposal fees, employee wages and vehicle expenses. Pursuant to the terms of a new waste disposal contract with COVANTA Sustainable Solutions, the cost to dispose of household waste will rise from \$62.03 per ton in 2022 to \$75.24 per ton in 2023. The average monthly cost to process and market single stream recyclables was \$45.41 per ton in 2022 and is projected to decrease to \$35.73 per ton in 2023. After increasing during the COVID pandemic, the amount of household refuse and recyclables collected by the Township is projected to decrease by approximately 315 tons in 2023.

The Township will continue to fund its general budgetary obligations through traditional revenue sources such as real state tax, earned income tax, real estate transfer tax, mercantile and business privilege tax, licenses and permits, fines and department earnings. In 2019 a local services tax was enacted whereby individuals employed within Springfield Township now pay \$1 per week or \$52 annually through a payroll deduction. Those who do not earn more than

\$12,000 annually are exempt from the tax. The Township anticipates the receipt of an additional \$30,000 in revenues from the local services tax in 2023.

The 2023 preliminary budget will be made available for inspection in the office of the Township Manager, 1510 Paper Mill Road, Wyndmoor, and in the Township Library, 8900 Hawthorne Lane, Wyndmoor, beginning 5:00 PM on November 11, 2022. The 2023 preliminary budget will also be posted to the Township website on or before the above date. Summary copies of the budget are also available upon request. The Board of Commissioners will accept questions and comments on the Budget at their workshop meeting on December 12, 2022 at 7:00 PM and again as a part of a budget hearing and budget adoption on December 14, 2022 at 7:30 PM. All aforementioned meetings will be conducted at the Springfield Township Administration Building, 1510 Paper Mill Road, Wyndmoor, PA 19038.

AMT:cmt
11/1/22

Springfield Township Zoning Hearing Board Notice

Notice is hereby given that the Zoning Hearing Board of Springfield Township, Montgomery County, will hold a meeting as required by the Zoning Ordinance of Springfield Township. This meeting will be held in the Boardroom of the Springfield Township Administration Building, located at 1510 Paper Mill Road, Wyndmoor, PA 19038.

Monday, November 28, 2022 at 7:00 p.m. at which time a public meeting will commence on the following application:

Case #22-26: This is the application of **Christina & Richard Shore**, owners of the property located at 600 Maple Lane, Flourtown, PA 19031 also known as Parcel #5200-1108-6004. The applicants have requested a dimensional Special Exception from Section 114-54.A.2 of the Springfield Township Zoning Ordinance. The applicants seek approval to construct an addition to the existing single family dwelling that would reduce a required 40 foot front yard setback to 32 feet in depth. This is a corner property that has street frontage on both Maple Lane and Hilltop Road. The property is zoned within the A-Residential District of Ward #6 of Springfield Township.

Case #22-27: This is the application of **Maestros Real Estate, LLC**, equitable owners of the property located at 1213 Bethlehem Pike, Flourtown, PA 19031 also known as Parcel #5200-0158-8007. The applicant has requested a special exception for the use of the property from Section 114-71.D. The applicant seeks approval to increase the number of apartment units from 9 to 11, with the conversion of the two existing office space on the first floor. Dimensional variances have been requested from Sections 114-72.A and Section 114-134.A of the Springfield Township Zoning Ordinance. The dimensional variances are required for the minimum lot area requirement of 5,000 square feet per family unit and the 2 off-street per unit parking spaces per unit requirements. The property consists of 22,200 square feet of lot area and has 17 on-site parking stalls. The property is split zoned within the B-1 Business District and the B & C-Residential District of Ward #1 of Springfield Township.

Copies of the application packets are available for review in the Community Development Office during normal business hours, located at 1510 Paper Mill Road, Wyndmoor, PA 19038 or on our website at springfieldmontco.org. Any question you may have can be addressed by contacting Mr. Penecale at 215-836-7600, ext. 1114.

By Order of the Springfield Township
Zoning Hearing Board
Mark A. Penecale
Director of Planning & Zoning