

**Springfield Township
Zoning Hearing Board
November 27, 2023
7:00 P.M.**

7:00 P.M. Call to Order:

Pledge of Allegiance:

Roll Call: Jennifer Guckin, Chairperson, Zoning Hearing Board Member
Megan McDonough; Esq., Vice Chair, Zoning Hearing Board
Ed Fox; Esq., Zoning Hearing Board Member
James Brown; Zoning Hearing Board Alternate Member
Kate M. Harper, Esq.; Solicitor, Zoning Hearing Board

Decisions: There are no pending Order & Opinions to render.

New Business:

Case #23-24: This is the application of **1851 Bethlehem Pike Associates, LP**, owner of the property located at 1851 Bethlehem Pike, Flourtown, PA 19031, known as Parcel #5200-0166-5002. The applicant has requested a variance from Section 114-12.A-13 of the Springfield Township Zoning Ordinance. The applicant seeks approval to make alterations within the flood plain to include the removal of the drive-thru canopy, construction of a trash enclosure, minor curb alterations and the creation of an outdoor seating area. The property is zoned within the B-2 Business District of Ward #6 of Springfield Township.

Case #23-25: This is the application of **Andre Stephano & Beth Lesko**, owners of the property located at 401 East Mill Road, Flourtown, PA 19031, known as Parcel #5200-1166-2004. The applicants have requested a variance from Section 114-53 of the Springfield Township Zoning Ordinance. The applicants plan to subdivide the property with the proposed lot having frontage on Cedar Lane. The variance has been requested to allow the proposed lot to have 25 feet of lot frontage on Cedar Lane, instead of the required 75 feet. The property is zoned within the A-Residential District of Ward #6 of Springfield Township.

Adjournment:

Note: The next meeting of the Zoning Hearing Board is scheduled for Monday, December 18, 2023, with a 7:00 P.M. start time. This meeting will be held at the Springfield Township Administration Building located at 1510 Paper Mill Road, Wyndmoor, PA 19038



The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038

website: www.SpringfieldMontco.org

Phone: 215-836-7600

Fax: 215-836-7180

COMMISSIONERS

James M. Lee
President

Baird M. Standish
Vice President

Peter D. Wilson
Michael E. Maxwell
Jonathan C. Cobb
Susanna O. Ratsavong
Brendan May

OFFICERS

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Secretary-Manager

James J. Garrity
Solicitor

Joelle Kleinman
Treasurer / Tax Collector

Timothy P. Woodrow, PE
Engineer

Zoning Hearing Board Notice

Notice is hereby given that the Zoning Hearing Board of Springfield Township, Montgomery County, will hold a meeting as required by the Township's Zoning Ordinance. This meeting will be in the Boardroom of the Springfield Township Administration Building, located at 1510 Paper Mill Road, Wyndmoor, PA 19038.

Monday, November 27, 2023, at 7:00 p.m. at which time a public meeting will commence on the following application:

Case #23-24: This is the application of **1851 Bethlehem Pike Associates, LP**, owner of the property located at 1851 Bethlehem Pike, Flourtown, PA 19031, known as Parcel #5200-0166-5002. The applicant has requested a variance from Section 114-12.A-13 of the Springfield Township Zoning Ordinance. The applicant seeks approval to make alterations within the flood plain to include the removal of the drive-thru canopy, construction of a trash enclosure, minor curb alterations and the creation of an outdoor seating area. The property is zoned within the B-2 Business District of Ward #6 of Springfield Township.

A copy of the application and information submitted for this application is on file in the Community Development Office and may be reviewed during normal business hours. In addition, all information submitted is posted on our website @springfieldmontco.org.

By Order of the Springfield Township
Zoning Hearing Board
Mark A. Penecale
Director of Planning & Zoning

THERE IS A 30-DAY PERIOD AFTER THE DATE THE DECISION IS RENDERED FOR ANY AND ALL AGGRIEVED PERSONS TO FILE AN APPEAL IN THE APPROPRIATE COURT TO CONTEST THE ACTIONS OF THE ZONING HEARING BOARD. APPLICANTS THAT TAKE ACTION ON ANY ZONING HEARING BOARD APPROVAL DURING THE 30-DAY APPEAL PERIOD, DO SO AT THEIR OWN RISK.

TOWNSHIP OF SPRINGFIELD
MONTGOMERY COUNTY
1510 PAPER MILL ROAD
WYNDMOOR, PA 19038

Springfield Township
Montgomery County
Received

OCT 3 REC'D

Community Development
Department

NO: #-23-2A

DATE: 10/3/2023

PETITION

SPRINGFIELD TOWNSHIP ZONING HEARING BOARD

We 1851 Bethlehem Pike Associates, LP
(Name of Applicant)

Of (Address) c/o Andrew Winn, 600 N. 2nd Street, #401, Harrisburg, PA 17101

(Telephone No.) (267) 825-5115

do hereby make application before the Springfield Township Zoning Hearing Board to request:

 An **appeal** from the decision of the Zoning/Building Official.

 A **special exception** as provided for in Article , Section ,
Subsection , of the Springfield Township Zoning Code.

 X A **variance** from the requirements set forth in Article 12A, Section 12A13,
Subsection , of the Springfield Township Zoning Code.

 Other (please specify)

The property concerned is located at 1851 Bethlehem Pike, Flourtown

Petitioner's Interest in the property is Owner

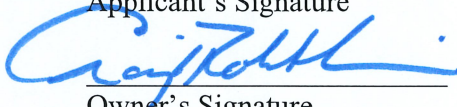
Present use of property vacant commerical building with drive thru. Initially developed
as and formerly occupied as a restaurant. Most recently occupied as retail bank facility.

Explanation of Petition: Variance and Special Exception Requests must meet the statutory guidelines Outlined in Section 114-165 of the Township Zoning Code. The following explanation should indicate Compliance with those guidelines.

Owner proposes minor site improvements to meet needs of new tenant. Improvements include removal of drive-thru canopy, construction of trash enclosure, minor curb adjustments, and creation of outdoor seating area. The renovations result in a net decrease in impervious coverage. Proposed renovations require removal of impervious surface in Floodplain Conservation District and a net increase in green area. Removal of impervious constitutes "disturbance" and thus requires relief from Section 114-12A13.

APPLICANT NOTE: Petition must be accompanied by eight (8) sets of scaled drawings or plans, Application Fee and a copy of the property deed.

check # 24899
\$1,200.00
CASE # 23-24

Applicant's Signature

Owner's Signature
ATTORNEY FOR OWNER

Do not write in this space.

Petition granted.

Petition refused.

The following special conditions are imposed.

By Order of the Zoning Hearing Board

**TOWNSHIP OF SPRINGFIELD
COMMUNITY DEVELOPMENT
ZONING INFORMATION AND FEE SCHEDULE**

**NOTICE TO APPLICANTS WHO WISH TO APPEAR BEFORE
THE ZONING HEARING BOARD OF SPRINGFIELD TOWNSHIP**

Application Procedures

Applicants must complete the standard Petition form **TYPED** and signed in **TRIPLICATE** and file same with the Zoning Officer by the **last day** of the month preceding the public hearing date. The Zoning Board Hearings are normally held on the **fourth Monday** of each month with the exception of a chosen

summer month.

Applications **must** be accompanied by eight (**8**) copies of **scaled** drawings including sketches, or drawings indicating lot lines, building dimensions, yard distances, and any other illustrative data relating to the Petition. Pertinent photographs and letters from immediate neighbors are also helpful for the record but need not be filed unless required by the Zoning Hearing Board.

A copy of the property deed must accompany all applications. **No applications will be accepted without the deed.**

An explanation of the Petition must be provided with specific details on the nature of the Petition, relief being requested, pertinent code sections, lot and setback criteria, etc.

In order for the Zoning Board to grant a special exception and/or variance request, the statutory guidelines outlined in Section 114-165 of the Township Zoning Code must be met. The explanation of the petition should indicate compliance with those guidelines. It is the applicant's responsibility to provide all necessary information pertaining to the petition.

It is required that the Applicant, or in the case of an organization to have one of its corporate officers, be present to testify at the hearing. Applicants have the right to be represented by an attorney.

Petitions are listed on the Zoning Hearing Board Agenda in the date order in which they are received.

In accordance with the **Pennsylvania Municipalities Planning Code, Act 247, Section 908**, it will be necessary for Springfield Township to post notice of this Hearing. Such posting is to be conspicuously displayed on the affected tract of land or building.

Filing Fees and Costs

Each applicant must pay the requisite application fee when filing a Petition to the Zoning Hearing Board:

1. A filing fee of **\$500.00** shall be required with respect to any Petition dealing exclusively with single or two-family residential property and the residential use, including accessory use thereof. Such a Petition may involve an appeal from a decision of the Zoning Officer, an application for a Special Exception, and/or a Variance or any other appeal the Board is empowered to hear.
2. A filing fee of **\$1,200.00** shall be required with respect to any petition to the Zoning Hearing Board for any matter dealing with non-residential property or the non-residential use thereof, and/or multi-family use.
3. A continuance fee equal to 50% of the application fee will be charged for each continuance that is requested by the applicant.

Filing fees are applied to clerical, advertising, mailing, administrative, legal and stenographic costs associated with the Hearing and are not refundable to Applicant. The filing fee has been established to pay the costs associated with one hearing. In those instances where hearings are continued and the original filing fee and/or continuance fee does not cover the additional costs incurred by the Township, the costs will be assessed upon the Applicant.

Should a written record, including a stenographic transcript, of the proceedings before the Zoning Hearing Board, be appropriate or required, the Applicant or the Appellant, as the case may be, will be billed and required to pay for the costs of preparing such a written record. In such a case there shall not be any credit granted to anyone as a result of the filing fee initially paid.

The Zoning Hearing Board may deem it appropriate to have a stenographic transcript of the proceedings in any matter before it in order that a decision and opinion may be made. In such a case the cost thereof shall be borne initially by the Applicant and thereafter by the Appellant, upon appeal as a part of the cost of the entire written record of the proceedings.

I have read the Application Procedure and the Schedule of Filing Fees and Costs and agree to be bound by the provisions thereof.

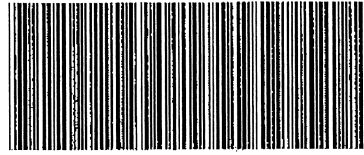
CHRIS R LEWIS
Printed Name of Applicant
ATTORNEY FOR APPLICANT/OWNER
Chris R Lewis 9/28/23
Applicant's Signature and Date

**RECORDER OF DEEDS
MONTGOMERY COUNTY**
Nancy J. Becker



One Montgomery Plaza
Swede and Airy Streets ~ Suite 303
P.O. Box 311 ~ Norristown, PA 19404
Office: (610) 278-3289 ~ Fax: (610) 278-3869

DEED BK 5708 PG 00360 to 00365
INSTRUMENT # : 2008094491
RECORDED DATE: 09/19/2008 09:05:28 AM





0375829-0014VV

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 6

Document Type: Deed		Transaction #: 287822 - 4 Doc(s)
Document Date: 09/09/2008		Document Page Count: 5
Reference Info:		Operator Id: tbutler
RETURN TO: (Mail) GROSS, MCGINLEY, LABARRE & EATON, LLP 33 SOUTH SEVENTH STREET P.O. BOX 4060 ALLENTOWN, PA 18105-4060		SUBMITTED BY: GROSS, MCGINLEY, LABARRE & EATON, LLP 33 SOUTH SEVENTH STREET P.O. BOX 4060 ALLENTOWN, PA 18105-4060
* PROPERTY DATA:		
Parcel ID #: 52-00-01665-00-2	65-00-00723-00-4	
Address: 1851 BETHLEHEM PIKE	BETHLEHEM PIKE	
Municipality: PA Springfield Township	PA Whitemarsh Township	
School District: Springfield	Colonial	
* ASSOCIATED DOCUMENT(S):		
CONSIDERATION/SECURED AMT: \$2,721,804.00	DEED BK 5708 PG 00360 to 00365 Recorded Date: 09/19/2008 09:05:28 AM	
FEES / TAXES:		
Recording Fee:Deed	\$46.50	I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.
Additional Pages Fee	\$2.00	
Unique Muni Fee	\$5.50	
Affordable Housing Pages	\$2.00	
Affordable Housing Parcels	\$0.50	
State RTT	\$27,218.04	
Springfield Township RTT	\$13,609.02	
Springfield School District RTT	\$13,609.02	
NonCompliance Fee	\$25.00	  Nancy J. Becker Recorder of Deeds
Total:	\$54,517.58	

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

***COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION.**

Digitally signed 09/27/2023 by montgomery.county.rod@govos.com

Certified and Digitally Signed

Validation may require Adobe 'Windows Integration'

eCertified copy of recorded # 2008094491 (page 1 of 6)
Montgomery County Recorder of Deeds



SPECIAL WARRANTY DEED

Montgomery County
SEP 19 2008
Recorder of Deeds

THIS INDENTURE Made the 9th day of September, two thousand eight (2008)

25
22
5
28

BETWEEN 1851 BP, LP, a Pennsylvania limited partnership (hereinafter called the **Grantor**), of the one part, and **1851 BETHLEHEM PIKE ASSOCIATES, LP**, a Pennsylvania limited partnership, (hereinafter called the **Grantee**), of the other part,

WITNESSETH, That the said Grantor for and in consideration of the sum of **TWO MILLION SEVEN HUNDRED TWENTY-ONE THOUSAND EIGHT HUNDRED FOUR and 00/100 DOLLARS (\$2,721,804.00)** lawful money of the United States of America, unto it well and truly paid by the said Grantee, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release and confirm unto the said Grantee, its successors and assigns,

ALL THAT CERTAIN lot or parcel of ground, together with the buildings and improvements thereon erected located at 1851 Bethlehem Pike, Flourtown, Pennsylvania, in the Townships of Springfield and Whitmarsh, County of Montgomery, and Commonwealth of Pennsylvania, as more fully described on **Exhibit "A"** attached hereto and made a part hereof.

TOGETHER with all and singular the buildings, improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of it, the said Grantor, as well at law as in equity, of, in and to the same.

TO HAVE AND TO HOLD the said lot or parcel of land described in **Exhibit "A"**, together with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, to and for the only proper use and behoof of the said Grantee, its successors and assigns forever.

AND the said Grantor, for itself and its successors and assigns does covenant, promise and agree, to and with the said Grantee, its successors and assigns, by these presents, that it, the said Grantor and its successors and assigns, all and singular the hereditaments and premises hereby granted or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, against it, the said Grantor and its successors and assigns and against all and every person and persons whomsoever lawfully claiming or to claim the same or any part thereof, by from or under it or any of them, shall and will, (Subject as aforesaid), **WARRANT and forever DEFEND**.

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
65-00-00723-00-4 WHITEMARSH
BETHLEHEM PIKE
1851 BP LP
B 061 U 050 L 2100 DATE: 09/19/2008
\$1.00
JO

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
52-00-01665-00-2 SPRINGFIELD
1851 BETHLEHEM PIKE
1851 BP LP
B 005 U 022 L 4255 DATE: 09/19/2008
\$5.00
JO



In Witness Whereof, the party of the first part has caused this Deed to be executed as of the day and year first above written

WITNESS: 1851 BP, LP, a Pennsylvania limited partnership

By: 1851 BP LLC, a Pennsylvania limited liability company, its general partner

By: [Signature]
Name: Joshua S. Petersohn
Title: Member

STATE OF PENNSYLVANIA :
COUNTY OF PHILADELPHIA :SS

On this, the 9th day of September, 2008, before me, a Notary Public, authorized to take acknowledgments and proofs in the County and State aforesaid, personally appeared Joshua S. Petersohn, who acknowledged himself to be the Managing Member of 1851 BP LLC, a Pennsylvania limited liability company, the general partner of 1851 BP, LP, a Pennsylvania limited partnership, and that he being authorized to do so, executed the foregoing Deed on behalf of the said 1851 BP LLC, a Pennsylvania limited liability company, as such Managing Member.

IN WITNESS WHEREOF, I hereunto set my hand and Notarial seal.

My Commission Expires: [Signature]
NOTARY PUBLIC

[NOTARIAL SEAL]

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
SHELDON BENDER, Notary Public
City of Philadelphia, Phila. County
My Commission Expires May 26, 2010



EXHIBIT A**LEGAL DESCRIPTION**

ALL THAT CERTAIN lot or piece of ground, with the buildings and improvements thereon erected, Situate in the Townships of Springfield and Whitmarsh, County of Montgomery and Commonwealth of Pennsylvania, as shown on an As-Built Survey prepared by Howard W. Doran, P.E., P.L.S., dated October 19, 1990, last revised January 11, 1994, and being bounded and described, as follows, to wit:

BEGINNING at a point on the Westerly right-of-way line of Bethlehem Pike, LR 153, SR 2018 (60.00 feet wide), a corner of this and lands now or late of Montgomery C.I.D.A., which point is located North 99 degrees 22 minutes 30 seconds East 456.27 feet from a corner of lands now or late of Kang Nam Woon and Kwang Nam; thence from said point of beginning along lands now or late of said Montgomery C.I.D.A. North 89 degrees 37 minutes 30 seconds West 165.00 feet to a point, a corner of lands now or late of Flourtown Commons, Ltd.; thence North 00 degrees 22 minutes 30 seconds East crossing the township line separating Whitmarsh Township and Springfield Township, 200.00 feet to a point in line of lands now or late of Ross Pizza, Inc., thence by the same South 89 degrees 37 minutes 30 seconds East 165.00 feet to a point on the said Westerly right-of-way line of Bethlehem Pike; thence by the same South 00 degrees 22 minutes 30 seconds West 200.00 feet to the first mentioned point and place of beginning.

TOGETHER with those easement rights set forth in Easement Agreement recorded in Deed Book 4405 page 373.

TOGETHER with a perpetual, exclusive easement, appurtenant and servient to the above described premises, which easement is for the purposes of drainage and is described, as follows, to wit:

BEGINNING at a point on the line of property of lands now or late of Ross Pizza, Inc., which point marks the Northwest corner of the above described premises; thence from said point of beginning along the Westerly line of the above described premises South 0 degrees 22 minutes 30 seconds West crossing the township line separating Whitmarsh Township and Springfield Township 200.00 feet to a point marking the Southwest corner of the above described premises; thence along the Southerly line extended of the above premises North 89 degrees 37 minutes 30 seconds West 30.00 feet to a point; thence North 00 degrees 22 minutes 30 seconds East, re-crossing the township line separating Whitmarsh Township and Springfield Township 200.00 feet to a point in line of lands now or late of Ross Pizza, Inc. (also being the Northerly line extended of the above described premises; thence South 89 degrees 37 minutes 30 seconds East 30.00 feet to the first mentioned point and place of beginning.

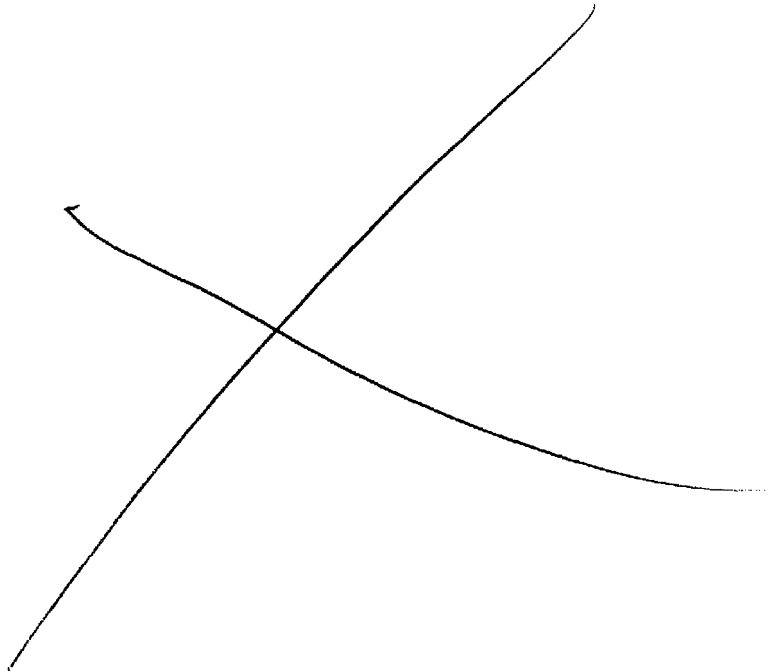
BEING known and identified as 1851 Bethlehem Pike.



ALL TAXES PAYABLE TO SPRINGFIELD TOWNSHIP

BEING, Parcel #52-00-01665-00-2 Block 5 Unit 22 (Springfield)

BEING Parcel #65-00-00723-00-4 Block 61 Unit 50 (Whitemarsh)



DEED

1851 BP, LP, a Pennsylvania limited partnership

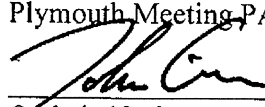
to

**1851 BETHLEHEM PIKE ASSOCIATES, LP,
a Pennsylvania limited partnership**

PREMISES: 1851 Bethlehem Pike
Springfield and Whitmarsh Township
Montgomery County, Pennsylvania

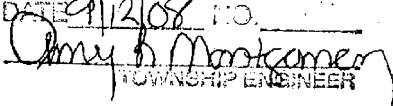
The address of the within named Grantee is:

505 W. Germantown Pike, Suite 200
Plymouth Meeting PA 19462-1303



On behalf of Grantee

Record and return to:

TOWNSHIP OF SPRINGFIELD
MONTGOMERY COUNTY, PA
- REGISTERED -
DATE 9/12/08 NO. _____

TOWNSHIP ENGINEER

113922.00453/11819813v.1



Chapter 114. Zoning

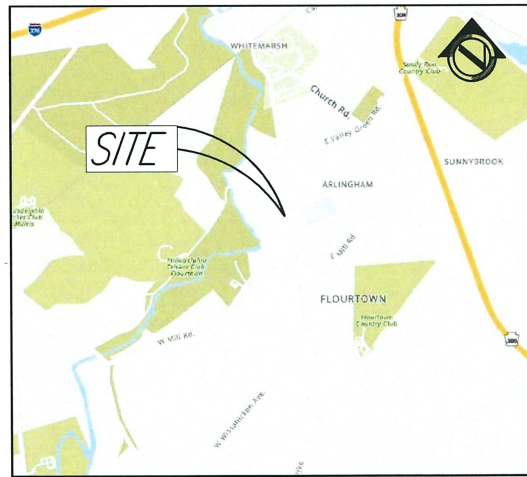
Article XIIA. Floodplain Conservation District

§ 114-12A13. Uses prohibited in Floodplain Conservation District (Identified Floodplain Area).

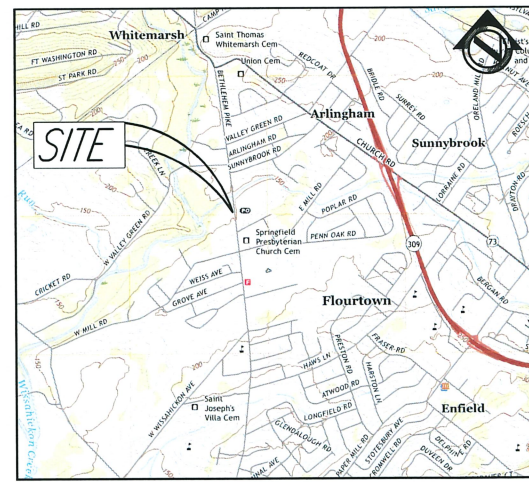
Any use or activity not authorized within § 114-12A12, herein, shall be prohibited within the Floodplain Conservation District (Identified Floodplain Area) and the following activities and facilities are specifically prohibited:

- A. No new construction, alteration, or improvement of buildings and any other type of permanent structure, including fences, shall be permitted in the floodway or the one-hundred-year floodplain.
- B. Placement of fill within the one-hundred-year floodplain is prohibited.
- C. No encroachment, alteration, or improvement of any kind shall be made to any watercourse.
- D. Clearing of all existing vegetation, except where such clearing is necessary to prepare land for a use permitted under § 114-12A12, herein, and where the effects of these actions are mitigated by re-establishment of vegetation.
- E. Use of fertilizers, pesticides, herbicides, and/or other chemicals in excess of prescribed industry standards.
- F. Roads or driveways, except where permitted as corridor crossings in compliance with § 114-12A12, herein.
- G. Motor or wheeled vehicle traffic in any area not designed to accommodate adequately the type and volume.
- H. Parking lots.
- I. Subsurface sewage disposal areas.
- J. Sod farming.
- K. Stormwater basins, including necessary berms and outfall facilities.

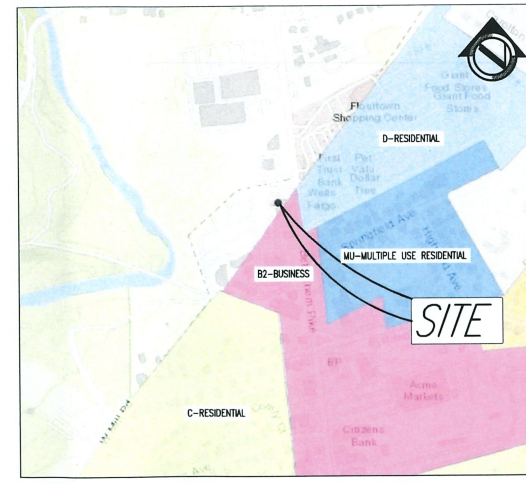
CONSTRUCTION PLANS FOR: PROPOSED STARBUCK'S STORE #07750 1851 BETHLEHEM PIKE FLOURTOWN SPRINGFIELD TOWNSHIP / WHITEMARSH TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA



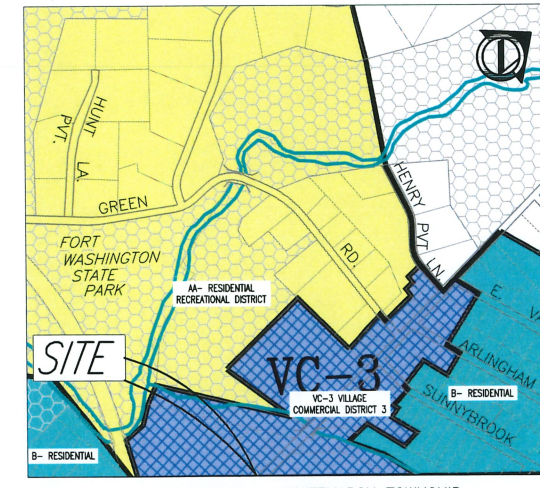
LOCATION MAP
SCALE: 1" = 2000'



PORTION OF GERMANTOWN USGS MAP
SCALE: 1" = 2,000'



ZONING MAP - SPRINGFIELD TOWNSHIP
SCALE: 1" = 500'



ZONING MAP - WHITEMARSH TOWNSHIP
SCALE: 1" = 500'

ARCHITECTS
CORNERSTONE CONSULTING ENGINEERS &
ARCHITECTURAL, INC.
1176 N. IRVING ST., ALLENTOWN, PA 18109

CIVIL ENGINEER
CORNERSTONE CONSULTING ENGINEERS &
ARCHITECTURAL, INC.
1176 N. IRVING ST., ALLENTOWN, PA 18109

OWNER
1851 BETHLEHEM PIKE ASSOCIATES LP
505 W. GERMANTOWN PIKE, SUITE 200
PLYMOUTH MEETING PA 19462

APPLICANT
FIRST CAPITAL REALTY, INC
ATTN: ANDREW M. WINN
awinn@firstcapitalco.com
(267) 825-5115

DRAWING INDEX:

1. COVER SHEET
2. SITE NOTES
3. SITE PLAN
4. EXISTING CONDITIONS & DEMOLITION PLAN
5. GRADING & DRAINAGE PLAN
6. UTILITY PLAN
7. LANDSCAPING & DETAILS PLAN
8. CONSTRUCTION DETAILS SHEET
9. E&S PLAN
10. E&S DETAILS SHEET

**FIRST CAPITAL
REALTY, INC.**

Cornerstone
Consulting Engineers & Architectural, Inc.
1176 N. Irving Street - Allentown, PA 18109
Phone: 610-820-8200 Fax: 610-820-3706
WWW.CORNERSTONECON.COM

DATE	REVISIONS	DESCRIPTION



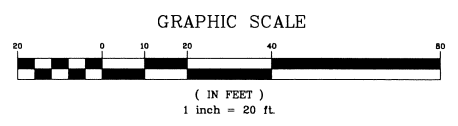
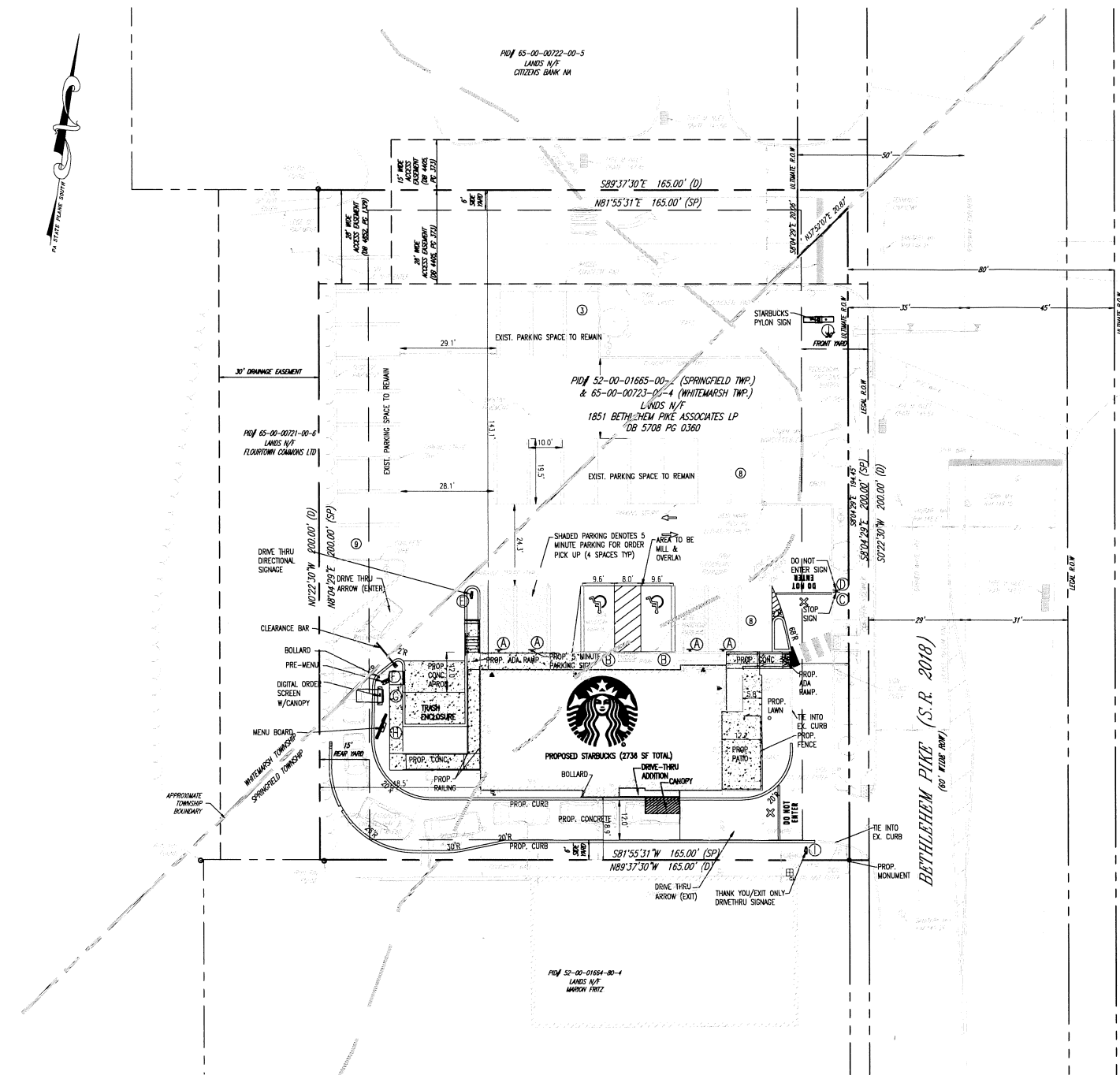
PROJECT LOCATION

1851 BETHLEHEM PIKE
FLOURTOWN
SPRINGFIELD TOWNSHIP
WHITEMARSH TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA

TITLE

COVER SHEET

PROJECT #	214001	DATE	08-13-2021
DRAWN BY	134488	CHECKED BY	KJP
SCALE	AS NOTED	CHECKED BY	KJP



GENERAL NOTES:

1. THIS PLAN REFERENCE A SURVEY BY: CORNERSTONE CONSULTING ENGINEERS & ARCHITECTURAL, INC. TITLED: TOPOGRAPHIC, LOCATION & BOUNDARY SURVEY DATED 12-08-2022.
2. SITE INFORMATION: SOURCE OF TITLE: DB 5708, PG. 0360
APN/TAX ID: 52-00-01665-00-3 SPRINGFIELD TWP
65-00-00723-00-4 WHITEMARSH TWP
ADDRESS: 1851 BETHLEHEM PIKE
FLOURTOWN
SPRINGFIELD TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA 19031
3. PROJECT IS A RE-DEVELOPMENT AND IS LIMITED TO RECONFIGURATION OF THE DRIVE THRU LANE AND THE ADDITION OF A TRASH ENCLOSURE.
4. PROPERTY IS LOCATED IN FEMA FLOOD MAP ZONE AE/ZONE X. PER THE MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, MONTGOMERY COUNTY, PENNSYLVANIA (ALL JURISDICTIONS) PANEL 377 OF 451, MAP NUMBER 4209103776 EFFECTIVE MARCH 2, 2016. SOURCE OF FLOODING IS THE WISSA HICKON CREEK.
5. SITE IS SERVED BY PUBLIC WATER AND SEWER.
6. THE DEED INDICATES THAT THIS IS ONE PARCEL, DESPITE TWO TAX PARCELS.
7. EXISTING BUILDING TO REMAIN.

ZONING INFORMATION (SPRINGFIELD TOWNSHIP):

USE:
ZONING DISTRICT: B2 BUSINESS - PERMITTED USE
EXISTING USE: FINANCIAL INSTITUTION w/DRIVE THRU
PRIOR USE: DONATO'S RESTAURANT
PROPOSED USE: RESTAURANT WITH DRIVE THRU

BULK REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED	SPRINGFIELD ONLY
MIN. LOT SIZE	1600 SF	33,000 SF	33,000 SF	18,687
MIN. LOT WIDTH	40'	200'	200'	42.67'
MAX. BLDG. COVER	70%	8X (2655 SF)	8X (2736 SF)	14.6X (2736 SF)
SETBACKS:				
FRONT	20'	36.6'	36.6'	36.6'
SIDE	6'	18.9'	18.9'	18.9'
REAR	15'	48.5'	48.5'	48.5'

IMPERVIOUS SURFACE NOTE

	ENTIRE PROPERTY	SPRINGFIELD TWP.
EXISTING IMPERVIOUS	25,785 SF	14,714 SF
PROPOSED IMPERVIOUS	25,949 SF	14,588 SF
A REDUCTION OF IMPERVIOUS	116 SF	116 SF
EXISTING IMPERVIOUS IN FLOODPLAIN	18,079 SF	8,439 SF
PROPOSED IMPERVIOUS IN FLOODPLAIN	17,660 SF	8,020 SF
A REDUCTION OF IMPERVIOUS	419 SF	419 SF

PARKING

SPRINGFIELD TWP
PER 114-134 A (4) RESTAURANT
1 SP PER 50 SF; 1 PER 50 / 2736 = 55 SPACES REQUIRED
EXISTING PARKING SPACES = 28 SPACES
EXISTING NON-CONFORMITY DUE TO PRIOR RESTAURANT USE.

SPRINGFIELD TOWNSHIP NOTES

1. THE TOWNSHIP ENGINEER SHALL BE NOTIFIED 24 HOURS IN ADVANCE OF THE COMMENCEMENT OF ANY CONSTRUCTION OPERATION, SUCH AS GRADING, SEWER INSTALLATION OR PAVING, IN ORDER THAT PROVISION MAY BE MADE FOR THE PROPER INSPECTION OF SUCH CONSTRUCTION OPERATION. SAMPLES OF MATERIALS AND EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK IS IN CONFORMITY WITH THE PROVISIONS OF THIS CHAPTER SHALL BE FURNISHED TO THE PROPER OFFICERS AND EMPLOYEES OF THE TOWNSHIP IN THE SAME MANNER AS IS REQUIRED OF CONTRACTORS UNDER THE TERMS OF THE HIGHWAY SPECIFICATIONS OF THE TOWNSHIP.
2. THE GRANTING OF ANY PERMIT HEREUNDER SHALL NOT IMPOSE UPON THE TOWNSHIP ANY OBLIGATION WHATSOEVER TO TAKE OVER ANY OF THE WORK COVERED THEREBY AS A PUBLIC IMPROVEMENT FOR ANY PURPOSE WHATSOEVER, UNLESS DULY APPROVED AND ACCEPTED BY THE BOARD. THE BOARD SHALL HAVE NO RESPONSIBILITY OF ANY KIND WITH RESPECT TO ANY STREET, ROAD, DRAINAGE FACILITY OR OTHER PUBLIC IMPROVEMENT, NOTWITHSTANDING ANY USE THEREOF BY THE PUBLIC, UNLESS IT HAS BEEN DULY APPROVED AND ACCEPTED BY THE BOARD.

SIGNAGE

SIGNAGE TO BE DESIGNED AND PERMITTED BY STARBUCKS SIGNAGE VENDOR. SIGNS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY.

TRAFFIC SIGNAGE LEGEND

- (A) ORDER PICK UP 5 MINUTE PARKING
- (B) EXISTING ADA PARKING
- (C) STOP
- (D) DO NOT ENTER

SITE SIGNAGE LEGEND(TO BE SUBMITTED BY OTHERS)

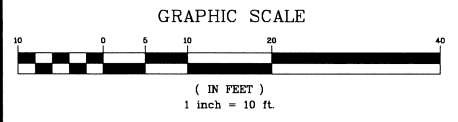
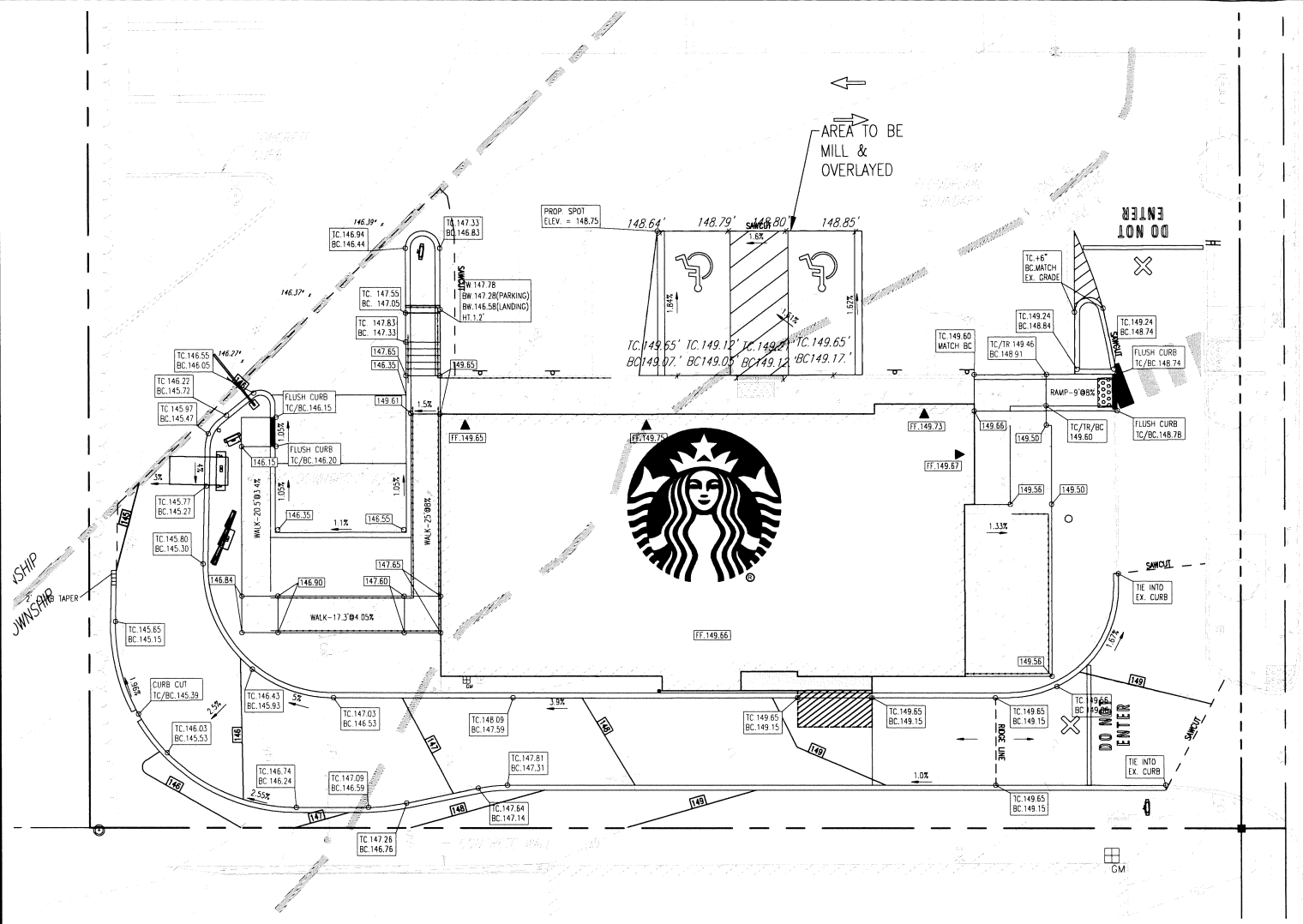
- (1) DRIVE THRU DIRECTIONAL
- (2) PRE-MENU BOARD
- (3) DIGITAL ORDER SCREEN w/CANOPY
- (4) MENU BOARD
- (5) DRIVE THRU EXIT-THANK YOU
- (6) STARBUCKS PYLON SIGN

NO.	DATE	REVISIONS



PROJECT LOCATION			
1851 BETHLEHEM PIKE FLOURTOWN SPRINGFIELD TOWNSHIP WHITEMARSH TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA			
TITLE			
SITE PLAN			
PROJ #	DESIGNER	DATE	SCALE
24-081	DRS	07-17-2023	AS SHOWN
CAD ID	CHK BY	APP	SCALE
14-001	DRS	KDF	AS NOTED

SHEET 3 OF 11



PAVEMENT LEGEND

	FULL DEPTH PAVEMENT
	MILL AND OVERLAY
	CONCRETE PAVEMENT

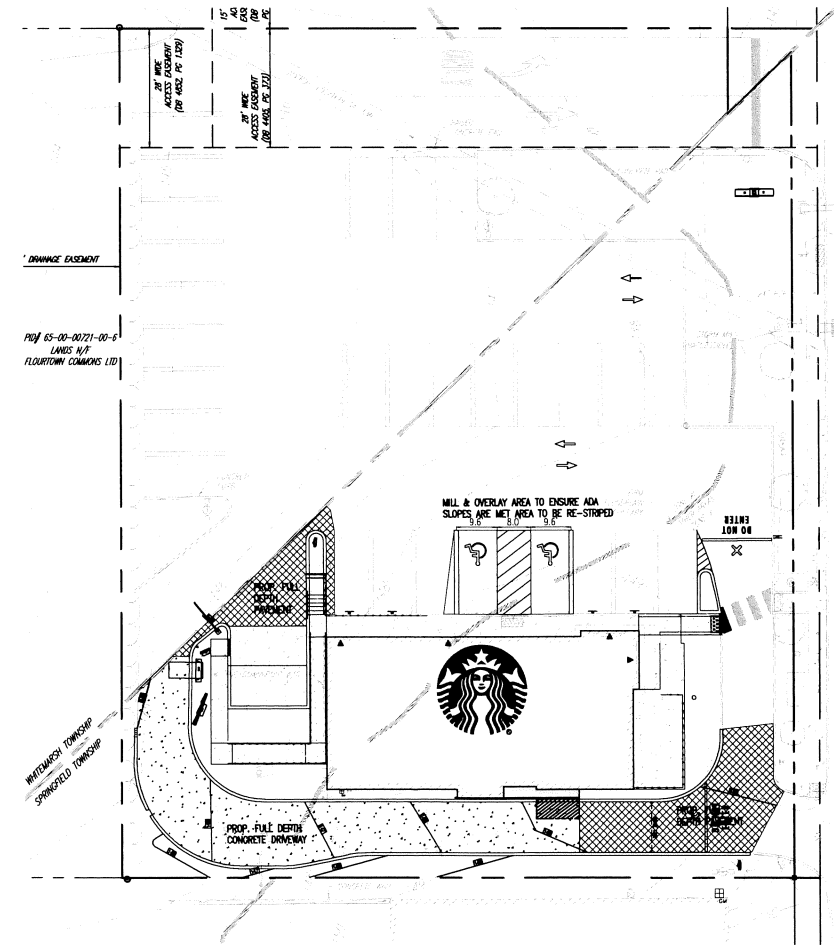
GENERAL GRADING NOTES

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. THE CONTRACTOR SHALL ALSO INDEPENDENTLY NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
- LOCATIONS ON THE PLAN DESIGNATED WITH AN ASTERISK (*) ARE LOCATIONS INTENDED TO MATCH EXISTING GRADES OR EXISTING INVERTS. THESE LOCATIONS HAVE BEEN INTERPOLATED AND/OR CALCULATED AND MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES.
- SPOT GRADES ARE SHOWN WITH A TC (TOP OF CURB) SHOWING THE ELEVATION AT THE TOP OF CURB AND BC (BOTTOM OF CURB) IDENTIFYING THE GRADE. TC/BC IDENTIFIES THAT THE CURB IS TO BE FLUSH CURB. BC DOES NOT REPRESENT THE BOTTOM OF THE CURB STRUCTURE. REFER TO THE CURB DETAILS FOR FURTHER INFORMATION. REFER TO THE NOTES SHEET, ESPC SHEETS, PCSM SHEETS AND OTHER PLAN SHEETS FOR GRADING ADDITIONAL NOTES, SPECIFICATIONS AND INFORMATION.

RETAINING WALL NOTES

- RETAINING WALLS THAT ARE SHOWN IN THIS PLAN ARE PROVIDED TO ILLUSTRATE THE LOCATION AND ELEVATIONS OF THE WALL AND ANY INFORMATION DEPICTED IS NOT A STRUCTURAL DESIGN. RETAINING WALLS ARE TO BE DESIGNED AND PERMITTED BY OTHERS.
- TW (TOP OF WALL) ELEVATIONS LISTED ON THIS PLAN ARE THE MINIMUM GRADE OF THE WALL BASED ON THE PROPOSED GRADES. ACTUAL CONSTRUCTED TOP OF WALL ELEVATION MAY BE HIGHER DEPENDING ON THE TYPE OF WALL AND DESIGN OF THE WALL.
- BW (BOTTOM OF WALL) ELEVATIONS LISTED ON THIS PLAN ARE TO GRADE, AND DOES NOT DEPICT THE FOUNDATION GRADE. RETAINING AND LANDSCAPE WALLS SHALL BE PROVIDED WITH A DRAIN. THE DRAIN SHALL DAYLIGHT, OR BE TIED INTO THE SITE OR STREET DRAINAGE SYSTEM. DRAIN SHALL BE PROVIDED BEHIND THE WALL WITH CLEAN STONE.

BETHLEHEM PIKE (S.R. 2018)
(60' WIDE ROW)



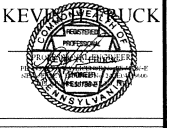
BETHLEHEM PIKE (S.R. 2018)
(60' WIDE ROW)

FIRST CAPITAL REALTY, INC.

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WWW.CORNERSTONECONSULT.COM

Dallas, TX
Lansburg, VA
Philadelphia, PA
Orlando, FL

DATE	DESCRIPTION	BY



PROJECT LOCATION

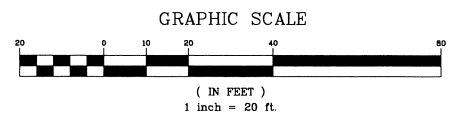
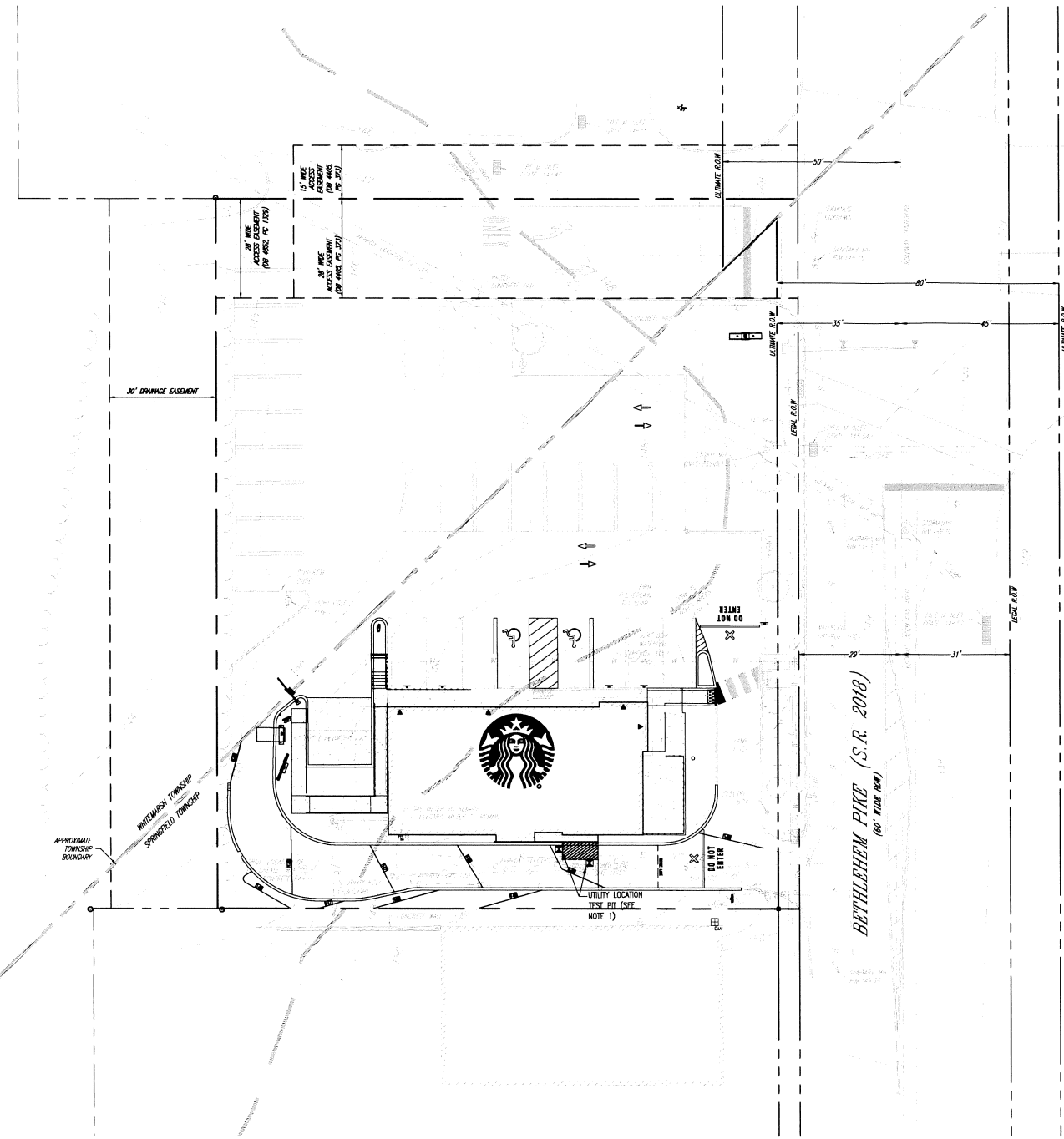
1851 BETHLEHEM PIKE
FLOURTOWN
SPRINGFIELD TOWNSHIP
WHITEMARSH TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA

TITLE

GRADING & PAVEMENT PLAN

PROJ # 21484	DATE 6-17-2023
CAD ID 26681	DEN BY KDP
SCALE AS NOTED	CHK BY KDP

SHEET 5 OF 11



GENERAL UTILITY NOTES

1. CONTRACTOR SHALL CONFIRM LOCATION OF ELECTRIC AND COMMUNICATIONS LINE WITH A SOFT DIG TO CONFIRM THE ELECTRIC SERVICE DOES NOT NEED TO BE RELOCATED. IF THE EXISTING SERVICE CONFLICTS WITH THE PROPOSED BUILDING ADDITION, THE CONTRACTOR SHALL SPECIFIC AREAS IDENTIFIED FOR VERIFICATION ARE DENOTED WITH A SYMBOL.
2. NO ONE CALL MARKOUT OR PLANS WERE PROVIDED SHOWING THE LOCATION OF EXISTING WATER AND SERVICE AND SANITARY SERVICES ON THE SITE AND ARE THEREFORE APPROXIMATE AND SHOULD BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO INDEPENDENTLY NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
4. REFER TO THE NOTES SHEET, ESPEC SHEETS, PCSM SHEETS AND OTHER PLAN SHEETS FOR DRAINAGE AND GRADING ADDITIONAL NOTES, SPECIFICATIONS AND INFORMATION.

WATER NOTES

1. THIS PLAN PROPOSES AN INTERNAL METER.
2. FIRE SERVICE BETWEEN THE MAIN CONNECTION AND BUILDING SHALL BE 6-INCH CLASS 52 CLDIP WITH PUSH ON JOINTS.
3. WATER SERVICE SHALL BE A 2-INCH K-COPPER SERVICE.
4. COORDINATE FINAL WATER SERVICE LOCATIONS INTO THE BUILDING WITH THE ARCHITECTURAL PLAN.
5. A STREET OPENING PERMIT WILL BE NEEDED FOR CONNECTION OF THE WATER SERVICE AND FIRE LINE.
6. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE CITY OF BETHLEHEM PUBLIC WORKS.
7. CONTRACTOR TO INCLUDE ALL WORK NECESSARY TO INSTALL THE WATER AND FIRE SERVICES, INCLUDING BUT NOT LIMITED TO: SAW CUT, ASPHALT AND CONCRETE DISPOSAL, ASPHALT AND CONCRETE INSTALLATION, THRUST BLOCKING, MATERIALS AND LABOR FOR INSTALLATION, VALVES, VALVE BOXES AND LIDS, CLEAN UP, TESTING, DISINFECTION, ONE CALL, SURVEY STAKEOUT, PROJECT MANAGEMENT AND TRAFFIC CONTROLS.
8. ALL TEES, PLUGS, CAPS, BENDS, AND HYDRANT BRANCHES SHOULD BE RESTRAINED AGAINST MOVEMENT, PIPE CLAMPS AND TIE-RODS, THRUST BLOCKS (WHERE SOIL IS SUITABLE), LOCKED MECHANICAL OR PUSH-ON JOINTS, MECHANICAL JOINTS UTILIZING SET SCREW RETAINER GLANDS, OR OTHER APPROVED METHODS OR DEVICES SHOULD BE USED. THE TYPE OF PIPE USED, SOIL CONDITIONS, AND AVAILABLE SPACE WILL DETERMINE THE BEST METHOD.

SANITARY NOTES

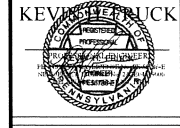
1. SANITARY PIPE SHALL BE SDR 35 CASKETED SEWER PIPE AND MEET ASTM D-3034.
2. COORDINATE FINAL LATERAL STUB LOCATIONS WITH THE ARCHITECTURAL PLAN.
3. CONTRACTOR SHALL PROVIDE A METAL MANHOLE LID THAT MEETS CITY OF BETHLEHEM SPECIFICATIONS.
4. SANITARY MANHOLE SHALL MEET CITY OF BETHLEHEM SPECIFICATIONS.
5. SANITARY LINES AND MANHOLES SHALL BE VACUUM AND MANHOLE TESTED. CONTRACTOR TO INCLUDE TESTING IN THE WORK SCOPE AND SHALL COORDINATE TESTING WITH THE CITY.
6. CONTRACTOR TO INCLUDE ALL WORK NECESSARY TO INSTALL THE SEWER LINES AND MANHOLES, INCLUDING BUT NOT LIMITED TO: SAW CUT, ASPHALT AND CONCRETE DISPOSAL, ASPHALT AND CONCRETE INSTALLATION, MATERIALS AND LABOR FOR INSTALLATION, CLEAN UP, ONE CALL, SURVEY STAKEOUT, PROJECT MANAGEMENT AND TRAFFIC CONTROLS.

ELECTRIC NOTES

1. ELECTRIC SERVICE IS TO BE PROVIDED BY PPL. CONTRACTOR SHALL COORDINATE INSTALLATION OF PRIMARY SERVICES AND TRANSFORMER WITH PPL. REFER TO ARCHITECTURAL PLANS FOR SERVICE REQUIREMENTS.
2. ALL EXTERIOR ELECTRIC LINES SHALL BE INSTALLED IN PVC ELECTRIC CONDUIT.
3. ALL ELECTRICAL WORK SHALL MEET PPL REQUIREMENTS.

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NO.	DATE	DESCRIPTION



PROJECT LOCATION
1851 BETHLEHEM PIKE
FLOURTOWN
SPRINGFIELD TOWNSHIP
WHITEMARSH TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA

TITLE
UTILITY PLAN

PROJ #	25491	DATE	4-17-2011
CDR BY	JKW	DRAWN BY	KJP
SCALE	AS SHOWN	CHECK BY	KJP

LANDSCAPE NOTES:

- EXISTING TREES NEAR PROPOSED IMPROVEMENTS SHALL BE PROTECTED WITH TREE PROTECTION FENCE. REFER TO THE PLAN VIEW FOR THE GENERAL LOCATION.
- LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED AND MARKED IN THE FIELD, PRIOR TO ANY DIGGING OPERATIONS.
- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, AND CLEAN-UP WHICH ARE INCIDENTAL TO LANDSCAPE INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT THE CORRECT GRADES AND ALIGNMENTS. ALL PLANTS SHALL BE SET PLUMB AND STRAIGHT. LANDSCAPING SHALL BE INSTALLED IN THE CENTER OF THE PIT.
- ALL PLANTS SHALL CONFORM WITH THE MOST CURRENT VERSION OF THE "AMERICAN STANDARD FOR NURSERY STOCK" OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF (18) EIGHTEEN MONTHS.
- THE CONTRACTOR SHALL REPAIR ANY SOIL OR SUBSURFACE DRAINAGE WHICH MAY BE DETRIMENTAL TO GROWTH OF THE PLANT MATERIAL.
- ALL TREES SHALL BE PROVIDED WITH A 3" DEEP SAUCER, CONSISTING OF SHREDDED HARDWOOD MULCH (NOT BARK).
- ALL SHRUB BEDS SHALL BE PROVIDED WITH A 3" DEEP LAYER OF SHREDDED HARDWOOD MULCH (NOT BARK).
- INsofar AS PRACTICAL, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT THE LANDSCAPING NOT PLANTED AND ENSURE IT RECEIVES ADEQUATE WATERING. UNDER NO CIRCUMSTANCES SHALL LANDSCAPING REMAIN UNPLANTED FOR MORE THAN THREE (3) DAYS.
- ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES.
- INSTALLATION OF PLANTS SHALL OCCUR WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE.
- ALL PLANTS SHALL BE THOROUGHLY WATERED BY THE CONTRACTOR AT LEAST THREE (3) TIMES (IN THE ABSENCE OF NATURAL RAINFALL), PRIOR TO ACCEPTANCE OF PLANTING BY THE OWNER.
- ALL DISTURBED AREAS ARE TO BE FINE GRADED, RAKED, MULCHED AND SEEDED.

PLANT SCHEDULE						
CANOPY TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER		QTY
	GT	Gleditsia triacanthos f. inermis / Thornless Honey Locust	2' Cal.	B&B		3
UNDERSTORY TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER		QTY
	SR	Syringa reticulata / Japanese Tree Lilac	2' Cal.	B&B		1
STREET TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER		QTY
	CC	Cercis canadensis / Eastern Redbud	2.5' Cal.	B&B		1
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER		QTY
	Bg	Buxus x 'Green Velvet' / Green Velvet Boxwood	36" HI	Pot		8
PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	QTY
	Lb	Liriope muscari 'Big Blue' / Big Blue Lilyturf	Quart	Pot	24" o.c.	33

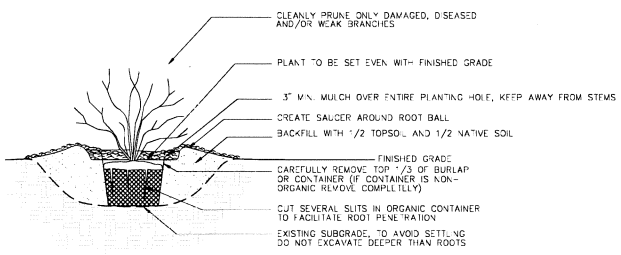
	PR. LAWN	3,739 sf
	PR. MULCH	913 sf

LANDSCAPE COMPLIANCE CHART	REQUIRED	PROVIDED
SPRINGFIELD ZONING DISTRICT: B-2 BUSINESS WHITEMARSH ZONING DISTRICT: V-3 VILLAGE COMMERCIAL 3 B-2 ZONING §95-11.1(2) STREET TREES ONE STREET TREE SHALL BE PLANTED FOR EACH 35 FEET OF STREET LENGTH 172/35 = 4.9 §95-11.1(3)(a) INTERNAL PARKING AREA LANDSCAPING [1] FOR EACH 10 PARKING SPACES, AT LEAST 500 SF OF PLANTING AREA SHALL BE PROVIDED, CONTAINING AT LEAST 2 CANOPY TREES, 1 UNDERSTORY TREE, 6 SHRUBS, AND GROUND COVER. 12 SPACES / 10 = 1.2 1.2 x 500 SF = 600 SF 1.2 x 2 = 2.4 1.2 x 1 = 1.2 1.2 x 6 = 7.2	5 STREET TREES 1400 SF LSA 3 CANOPY TREES 2 UNDERSTORY TREES 8 SHRUBS GROUND COVER	4 EX. STREET TREES 1 PR. STREET TREE 1400 SF LSA 3 CANOPY TREES 2 UNDERSTORY TREES 8 SHRUBS GROUND COVER

ERNMX-113 ERNST COMMERCIAL CONSERVATION LAWN MIX SPECIFICATION:

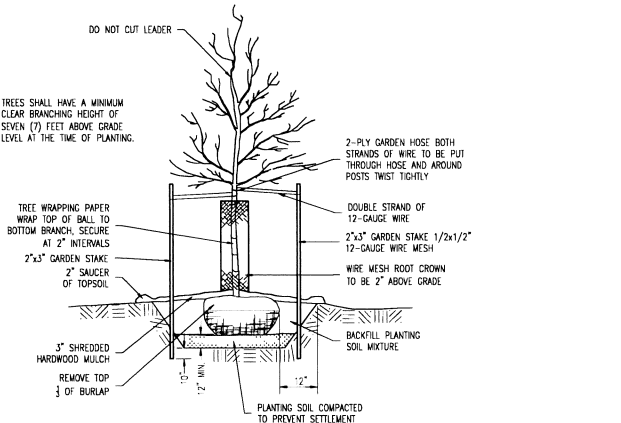
% Common Name	Scientific Name
25.0%	Festuca rubra
25.0%	Lolium multiflorum
25.0%	Lolium perenne
25.0%	Lolium perenne
Total: 100%	

- Notes:**
- Recommended coverage is 15lbs per acre.
 - Seed mix can be purchased from Ernst Conservation Seeds, Meadville PA 16335, 1 (800) 873-3321
 - Hand seeding is recommended and should take place between April 1st and May 15th or between September 1st and October 15th.
 - Immediately prior to seeding the soil is to be prepared so as to be free of large clods, evenly smooth, and level. A shallow tilling to a depth of 2 inches is acceptable to break up soils in which the surface has become crusted.
 - Planting areas shall be soaked to maintain a consistent level of moisture for at least four (4) to six (6) weeks after seeding.
 - After hand seeding, each area is to be rolled to push the seeds into firm contact with the soil and firm the seedbed. A firm seedbed is critical to proper seeding growth. Do not roll the site when the soil is wet. Wait until the soil is drier to avoid compaction. Alternatively a cultipacker could be used to ensure soil to seed contact. If seeding in the fall, this step is not required as the cumulative effect of rain and snow will provide the necessary soil to seed contact.
 - The seeding is to be mulched with North American Green S-150 BN (biodegradable erosion blanket) and secured with Bio-stakes (biodegradable anchors).



- NOTES:**
- WATER THOROUGHLY AFTER INSTALLATION.
 - FOR PLANTING BED INSTALLATION EXCAVATE ENTIRE SHRUB BED AS SHOWN ON PROJECT DRAWINGS.

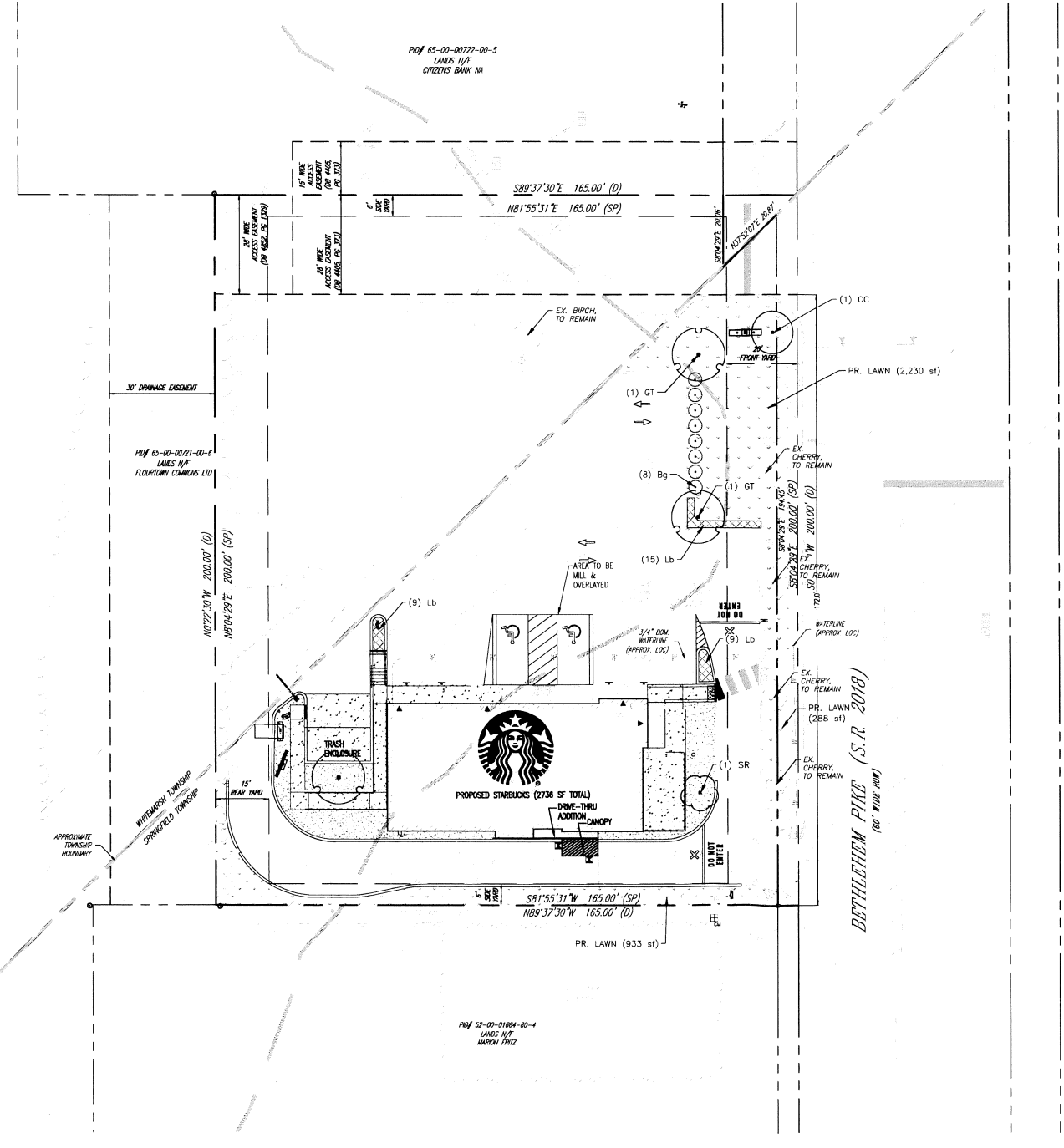
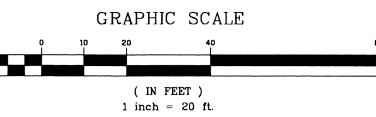
TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE



DECIDUOUS TREE PLANTING & STAKING DETAIL
NOT TO SCALE

LEGEND & ABBREVIATIONS

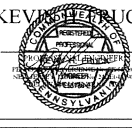
- CENTERLINE OF ROAD
- PROPERTY BOUNDARY
- ADJACENT BOUNDARY
- RIGHT OF WAY LINE
- EXISTING FENCE
- BUILDING SETBACK LINE
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING OVERHEAD WIRE
- APPROXIMATE GAS LINE
- APPROXIMATE WATER LINE
- APPROXIMATE TELECO LINE
- APPROXIMATE ELECTRIC LINE
- EXISTING SANITARY
- EXISTING SEWER LINE
- EXISTING CURB
- EXISTING DEPRESSION CURB (DC)
- UNDER/ABOVE GROUND
- LANDSCAPE AREA
- EXISTING TREELINE
- EXISTING SIGN
- EXISTING ROAD LIGHT AND UTILITY POLE (UP)
- HYDRANT
- LANDSCAPE AREA
- LAMP POST
- STORM MANHOLE
- SANITARY MANHOLE
- ELECTRIC MANHOLE
- WATER MANHOLE
- STORM INLET
- GAS METER
- WATER METER
- GAS VALVE
- WATER VALVE
- CLEAN OUT
- CONCRETE MONUMENT FOUND
- EX. DECIDUOUS TREE
- PROPOSED FENCE
- PROPOSED CONTOUR



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NO.	DATE	DESCRIPTION



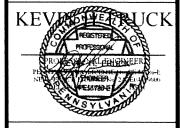
PROJECT LOCATION

1851 BETHLEHEM PIKE
FLOURTOWN
SPRINGFIELD TOWNSHIP
WHITEMARSH TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA

TITLE
LANDSCAPE
PLAN &
DETAILS

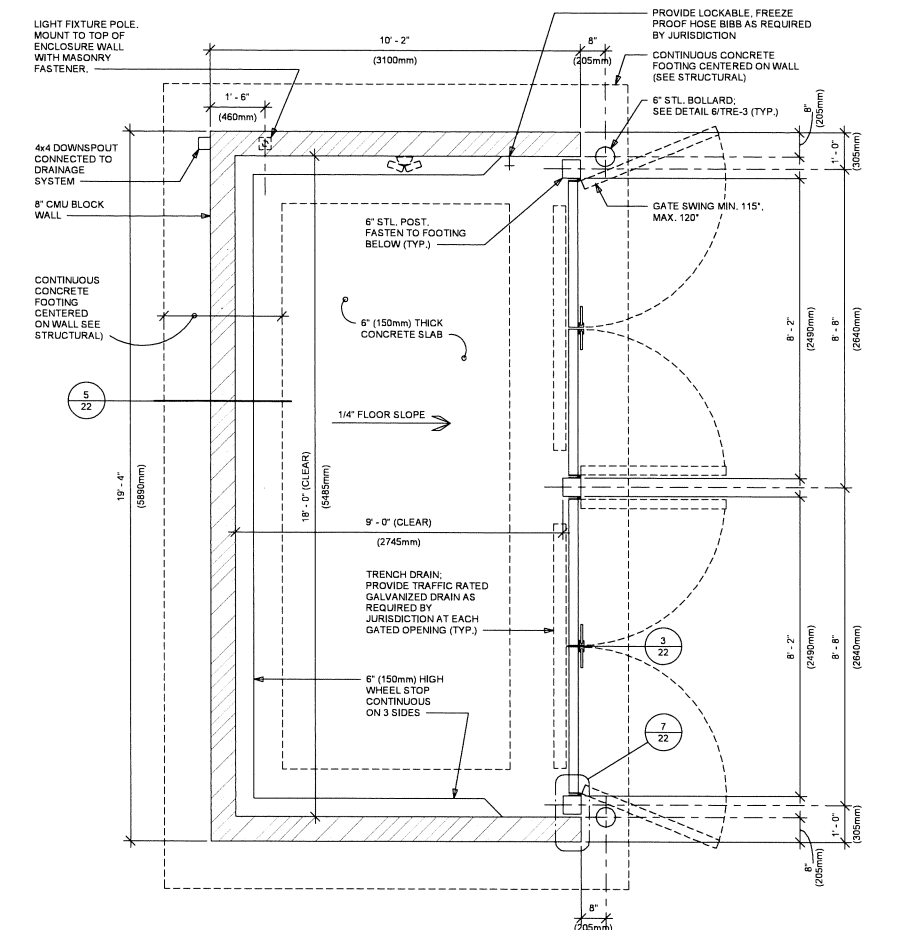
PROJ #	24-091	DATE	07-27-2021
CAD BY	24-091	DEN BY	KFU
SCALE	AS NOTED	CHK BY	KBR

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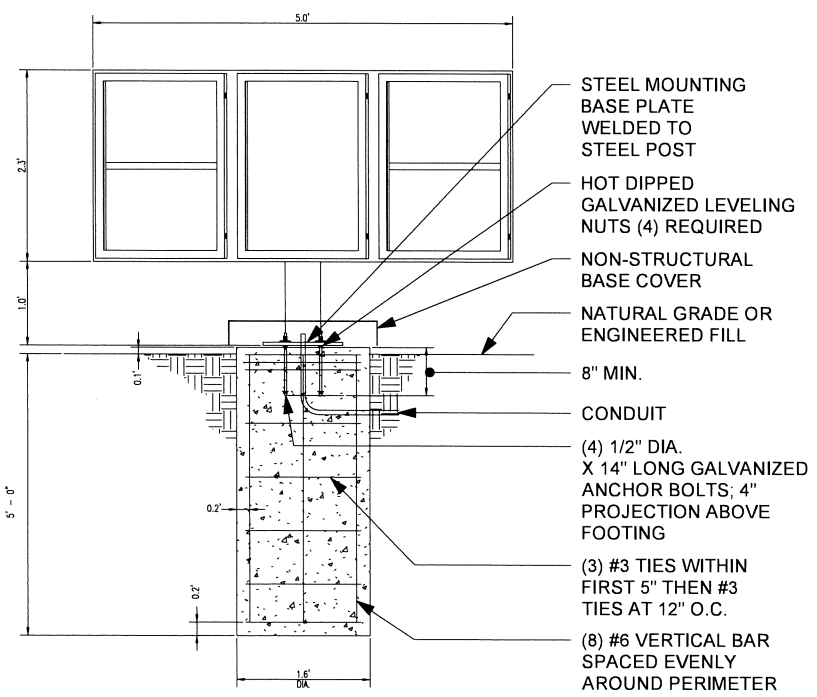


PROJECT LOCATION
1851 BETHLEHEM PIKE
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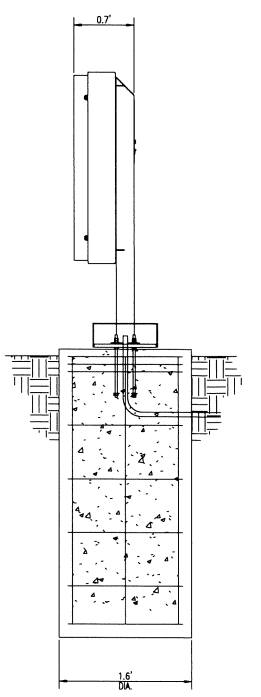
TITLE
DETAILS



FRONT ELEVATION

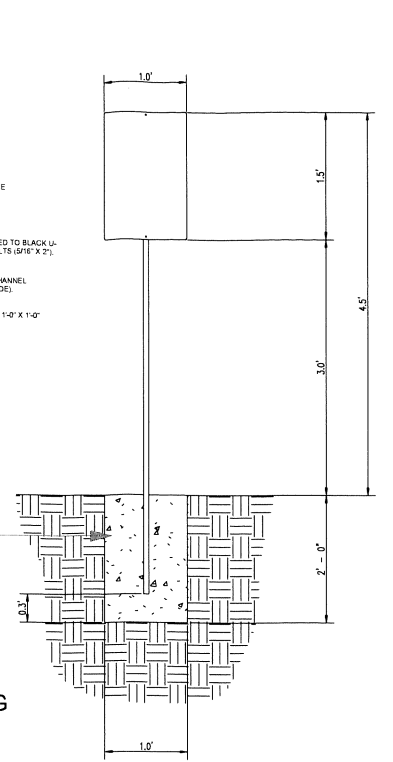
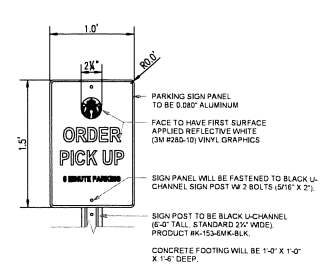


SIDE ELEVATION

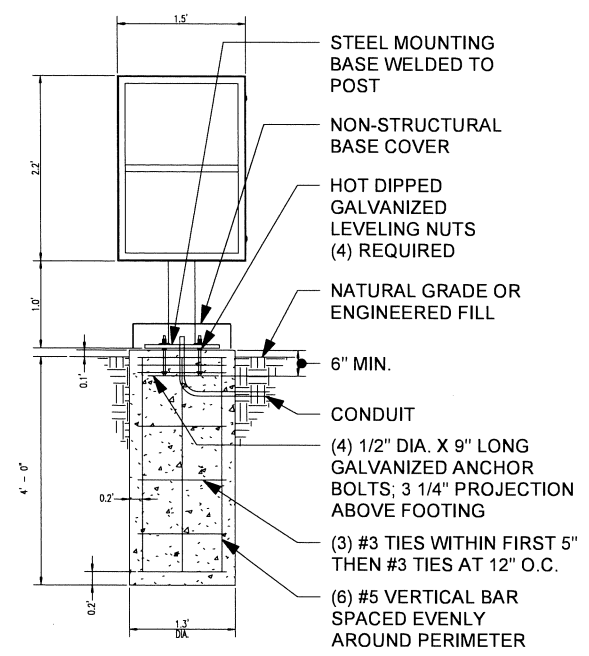


CONCRETE FOOTING TO BE CENTERED ON PARKING SPACE (TYP)

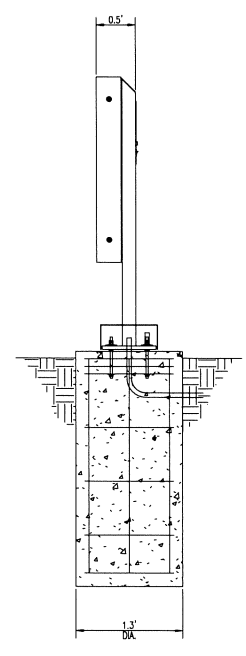
- NOTES:
1. SIGNAGE SHALL COMPLY WITH ADA GUIDELINES
2. GC TO CONFIRM FOOTING REQUIREMENTS WITH SIGNAGE VENDOR



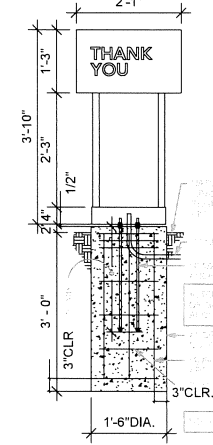
FRONT ELEVATION



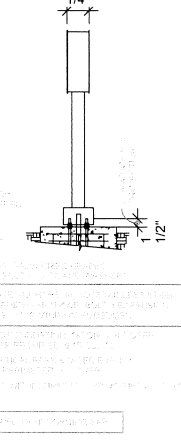
SIDE ELEVATION



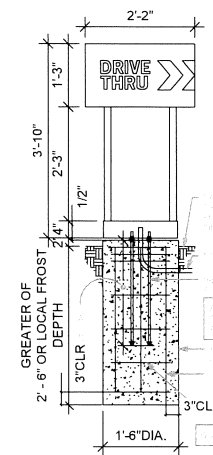
FRONT ELEVATION



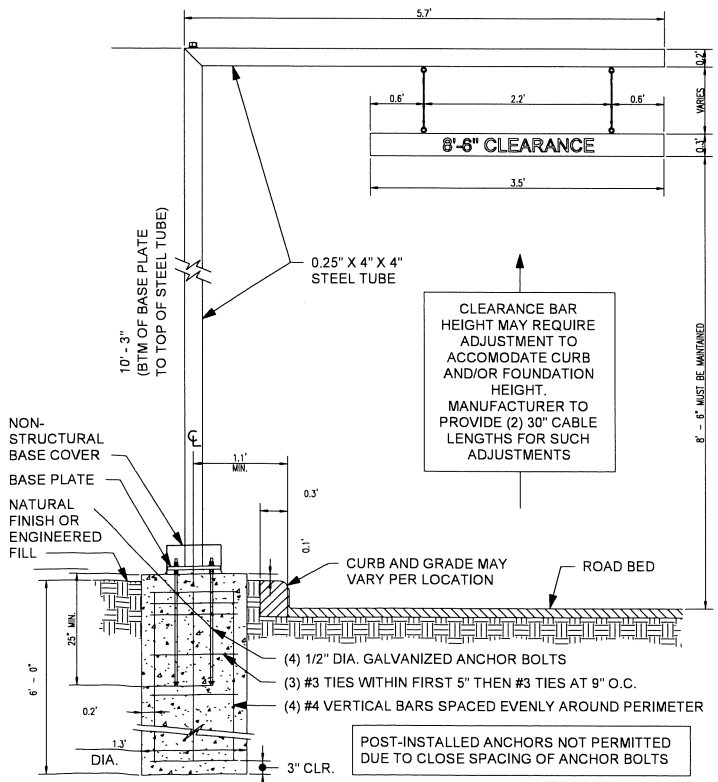
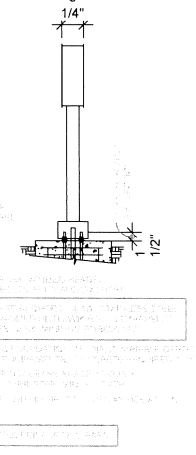
SIDE ELEVATION

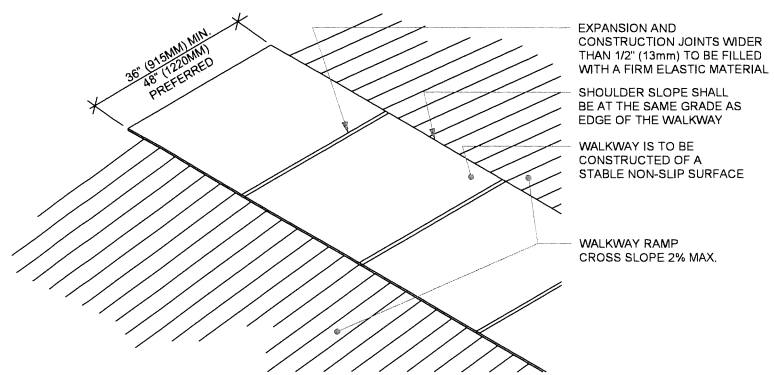
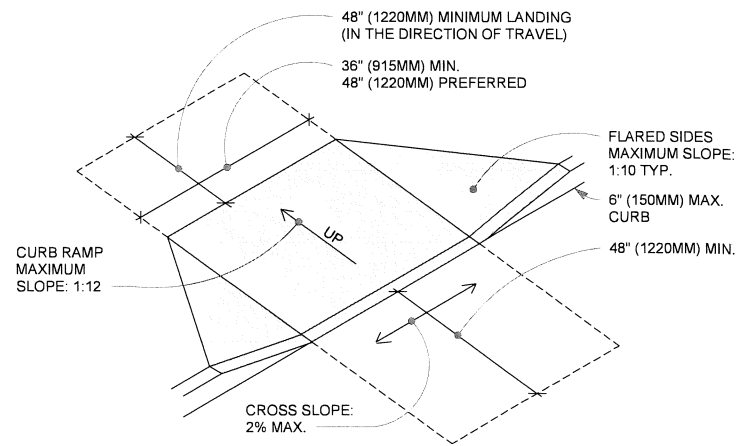
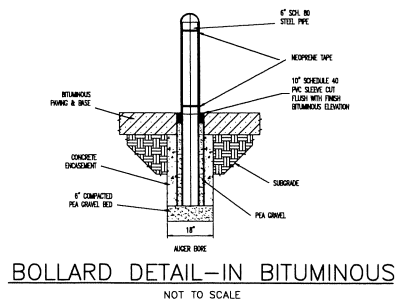


FRONT ELEVATION



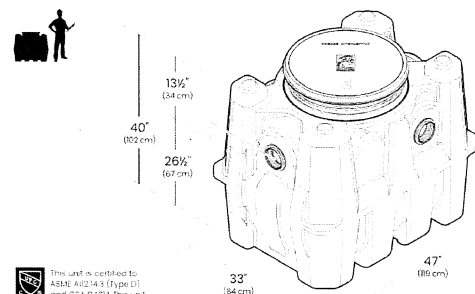
SIDE ELEVATION





SPECIFICATION AND SUBMITTAL

GB-75 75 GPM Great Basin™ Indoor/Outdoor Grease Interceptor



This unit is certified to ANSI A112.4.3 (Type II) and CSA B681.1. The unit does not require flow control.

SUBMITTAL

Standard	Options	Accessories
<p>Location: indoor/outdoor</p> <p>Installation: Above/below grade</p> <p>Flow Rate / Grease Capacity: 75 GPM (2.7 US) / 85 lbs (38.5 kg) RS gal (427 L)</p> <p>Removal Efficiency at the Rated Capacity: 95%</p> <p>Rated Capacity: 2500</p> <p>Solids Capacity: 31 gal (117 L)</p> <p>Liquid Capacity: 125 gal (473 L)</p> <p>Weight: 60 lbs (27.2 kg)</p> <p>Connections: 4" FPT with 4" plain end adapters, single inlet and triple outlet</p> <p>Covers: Cast non-skid slip-resistant 24" gal/water height, 20 round, proof-head tested to 40,000 lbs</p> <p>Access Restrictor: Safety Star™ (450 lb. rating) built into cover adapter</p>	<p><input type="checkbox"/> 15" plain end inlet/outlet (straight-through)</p> <p><input type="checkbox"/> 6" plain end inlet/outlet (triple outlet)</p> <p><input type="checkbox"/> 6" FPT inlet/outlet (stainless steel, straight-through)</p> <p><input type="checkbox"/> -FO (fixed outlet)</p> <p><input type="checkbox"/> C24HZ: Composite covers, coated 24" gal/water height, traffic load rated for 16,000 lbs</p>	<p><input type="checkbox"/> FCR2: 4" - 34" field cut riser</p> <p><input type="checkbox"/> FCR2 (x2): 4.54" - 64" field cut risers</p> <p><input type="checkbox"/> FCR2 (x3): 4.54" - 94" field cut risers</p> <p><input type="checkbox"/> CA2: Adapter for 24" corrugated pipe riser</p> <p><input type="checkbox"/> AK1: High water anchor kit</p> <p><input type="checkbox"/> CC2: Integral membrane cumming collar kit</p> <p><input type="checkbox"/> PP3: Pumpout port</p> <p><input type="checkbox"/> PLAIN-EA-24: 2" plain end fitting</p> <p><input type="checkbox"/> PLAIN-EA-34: 4" plain end fitting</p> <p><input type="checkbox"/> FPT-EA-23: 3" x 2" FPT fitting</p>

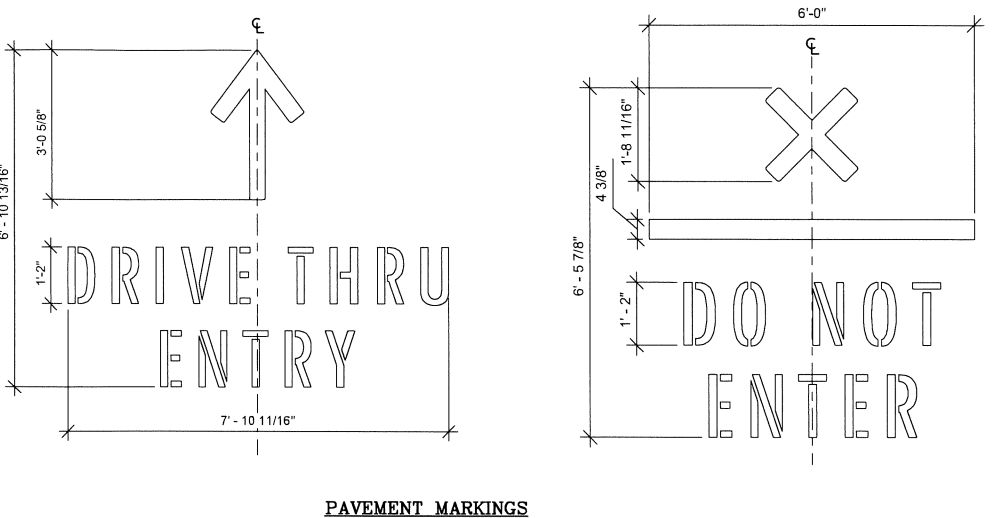
Approval

Signature _____	Date _____	Company _____
Specifying Engineer		Engineering Firm

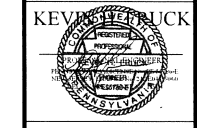
	MODEL NUMBER: GB-75	DESCRIPTION: 75 GPM Polyethylene grease interceptor
	PART # 4045-007-01	DWG BY B. Karner DATE: 6/9/2020 REV: ____ ECO: ____
9500 Woodland Road Edinboro, PA 16741 814-863-3300 schierproducts.com		

GREASE TRAP SPECIFICATION

- NOTES:
- INSTALL GREASE TRAP PER MANUFACTURER INSTALLATION INSTRUCTIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL ACCESSORIES AND APPURTENANCES REQUIRED TO PROVIDE A COMPLETE INSTALLATION OF THE SYSTEM.



NO.	BY	DATE	DESCRIPTION



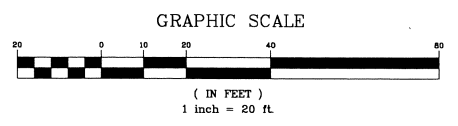
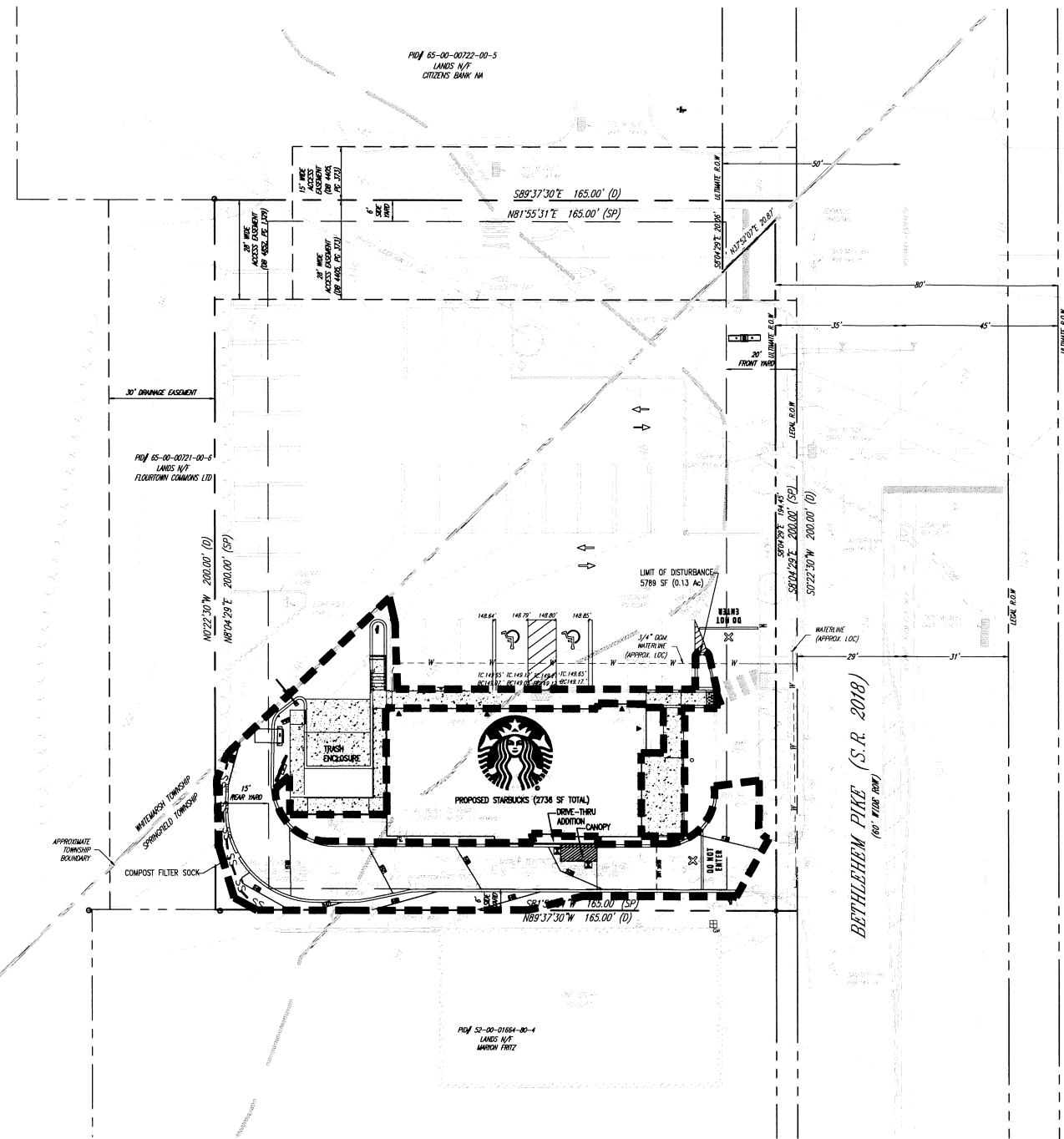
PROJECT LOCATION

1851 BETHLEHEM PIKE
FLOURTOWN
SPRINGFIELD TOWNSHIP
WHITEMARSH TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA

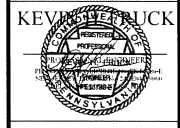
TITLE

DETAILS

PROJ # 24-001	DATE 03-17-2023
DRAWN BY 114-MI	CHK BY KFD
SCALE AS NOTED	CHK BY KFD



NO.	BY	DATE	REVISIONS	DESCRIPTION



PROJECT LOCATION

1851 BETHLEHEM PIKE
FLOURTOWN
SPRINGFIELD TOWNSHIP
WHITEMARSH TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA

TITLE

E&S SITE PLAN

PROJ #	24-001	DATE	07-17-2020
DRAWN	JTL:MT	CHK BY	KPD
SCALE	AS NOTED	CHK BY	KPD



The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038

website: www.SpringfieldMontco.org

Phone: 215-836-7600

Fax: 215-836-7180

COMMISSIONERS

James M. Lee
President

Baird M. Standish
Vice President

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Susanna O. Ratsavong
Brendan May

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Secretary-Manager

James J. Garrity
Solicitor

Joelle Kleinman
Treasurer / Tax Collector

Timothy P. Woodrow, PE
Engineer

Zoning Hearing Board Notice

Notice is hereby given that the Zoning Hearing Board of Springfield Township, Montgomery County, will hold a meeting as required by the Township's Zoning Ordinance. This meeting will be in the Boardroom of the Springfield Township Administration Building, located at 1510 Paper Mill Road, Wyndmoor, PA 19038.

Monday, November 27, 2023, at 7:00 p.m. at which time a public meeting will commence on the following application:

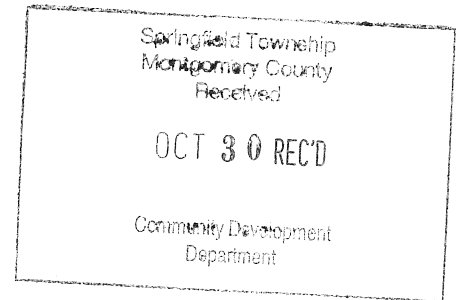
Case #23-25: This is the application of **Andre Stephano & Beth Lesko**, owners of the property located at 401 East Mill Road, Flourtown, PA 19031, known as Parcel #5200-1166-2004. The applicants have requested a variance from Section 114-53 of the Springfield Township Zoning Ordinance. The applicants plan to subdivide the property with the proposed lot having frontage on Cedar Lane. The variance has been requested to allow the proposed lot to have 25 feet of lot frontage on Cedar Lane, instead of the required 75 feet. The property is zoned within the A-Residential District of Ward #6 of Springfield Township.

A copy of the application and information submitted for this application is on file in the Community Development Office and may be reviewed during normal business hours. In addition, all information submitted is posted on our website [@springfieldmontco.org](http://springfieldmontco.org).

By Order of the Springfield Township
Zoning Hearing Board
Mark A. Penecale
Director of Planning & Zoning

THERE IS A 30-DAY PERIOD AFTER THE DATE THE DECISION IS RENDERED FOR ANY AND ALL AGGRIEVED PERSONS TO FILE AN APPEAL IN THE APPROPRIATE COURT TO CONTEST THE ACTIONS OF THE ZONING HEARING BOARD. APPLICANTS THAT TAKE ACTION ON ANY ZONING HEARING BOARD APPROVAL DURING THE 30-DAY APPEAL PERIOD, DO SO AT THEIR OWN RISK.

TOWNSHIP OF SPRINGFIELD
MONTGOMERY COUNTY
1510 PAPER MILL ROAD
WYNDMOOR, PA 19038



NO. 23-25

DATE: 10/26/2023

PETITION

SPRINGFIELD TOWNSHIP ZONING HEARING BOARD

We Andre Stephano and Beth Lesko
(Name of Applicant)

Of (Address) 401 East Mill Road, Flourtown, PA 19031

(Telephone No.) 267-872-0313

do hereby make application before the Springfield Township Zoning Hearing Board to request:

 An **appeal** from the decision of the Zoning/Building Official.

 A **special exception** as provided for in Article , Section ,
Subsection , of the Springfield Township Zoning Code.

 X A **variance** from the requirements set forth in Article V , Section 114 ,
Subsection 53 , of the Springfield Township Zoning Code.

 X Other (please specify)

The property concerned is located at 401 East Mill Road

Petitioner's Interest in the property is Owner

Present use of property Residential

Explanation of Petition: Variance and Special Exception Requests must meet the statutory guidelines Outlined in Section 114-165 of the Township Zoning Code. The following explanation should indicate Compliance with those guidelines.

See Attached

APPLICANT NOTE: Petition must be accompanied by eight (8) sets of scaled drawings or plans, Application Fee and a copy of the property deed.

CASE # 23-25
500.00
Check # 116568

Applicant's Signature
Christen G. Pionzio
Attorney for Owner's Signature
Christen G. Pionzio, Esq.

Do not write in this space.

Petition granted.

Petition refused.

The following special conditions are imposed.

By Order of the Zoning Hearing Board

**TOWNSHIP OF SPRINGFIELD
COMMUNITY DEVELOPMENT
ZONING INFORMATION AND FEE SCHEDULE**

**NOTICE TO APPLICANTS WHO WISH TO APPEAR BEFORE
THE ZONING HEARING BOARD OF SPRINGFIELD TOWNSHIP**

Application Procedures

Applicants must complete the standard Petition form **TYPED** and signed in **TRIPLICATE** and file same with the Zoning Officer by the **last day** of the month preceding the public hearing date. The Zoning Board Hearings are normally held on the **fourth Monday** of each month with the exception of a chosen

summer month.

Applications **must** be accompanied by eight **(8)** copies of **scaled** drawings including sketches, or drawings indicating lot lines, building dimensions, yard distances, and any other illustrative data relating to the Petition. Pertinent photographs and letters from immediate neighbors are also helpful for the record but need not be filed unless required by the Zoning Hearing Board.

A copy of the property deed must accompany all applications. **No applications will be accepted without the deed.**

An explanation of the Petition must be provided with specific details on the nature of the Petition, relief being requested, pertinent code sections, lot and setback criteria, etc.

In order for the Zoning Board to grant a special exception and/or variance request, the statutory guidelines outlined in Section 114-165 of the Township Zoning Code must be met. The explanation of the petition should indicate compliance with those guidelines. It is the applicant's responsibility to provide all necessary information pertaining to the petition.

It is required that the Applicant, or in the case of an organization to have one of its corporate officers, be present to testify at the hearing. Applicants have the right to be represented by an attorney.

Petitions are listed on the Zoning Hearing Board Agenda in the date order in which they are received.

In accordance with the **Pennsylvania Municipalities Planning Code, Act 247, Section 908**, it will be necessary for Springfield Township to post notice of this Hearing. Such posting is to be conspicuously displayed on the affected tract of land or building.

Filing Fees and Costs

Each applicant must pay the requisite application fee when filing a Petition to the Zoning Hearing Board:

1. A filing fee of **\$500.00** shall be required with respect to any Petition dealing exclusively with single or two-family residential property and the residential use, including accessory use thereof. Such a Petition may involve an appeal from a decision of the Zoning Officer, an application for a Special Exception, and/or a Variance or any other appeal the Board is empowered to hear.
2. A filing fee of **\$1,200.00** shall be required with respect to any petition to the Zoning Hearing Board for any matter dealing with non-residential property or the non-residential use thereof, and/or multi-family use.
3. A continuance fee equal to 50% of the application fee will be charged for each continuance that is requested by the applicant.

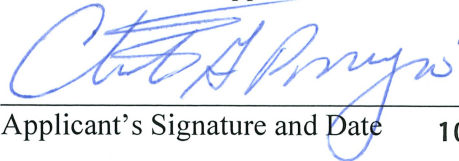
Filing fees are applied to clerical, advertising, mailing, administrative, legal and stenographic costs associated with the Hearing and are not refundable to Applicant. The filing fee has been established to pay the costs associated with one hearing. In those instances where hearings are continued and the original filing fee and/or continuance fee does not cover the additional costs incurred by the Township, the costs will be assessed upon the Applicant.

Should a written record, including a stenographic transcript, of the proceedings before the Zoning Hearing Board, be appropriate or required, the Applicant or the Appellant, as the case may be, will be billed and required to pay for the costs of preparing such a written record. In such a case there shall not be any credit granted to anyone as a result of the filing fee initially paid.

The Zoning Hearing Board may deem it appropriate to have a stenographic transcript of the proceedings in any matter before it in order that a decision and opinion may be made. In such a case the cost thereof shall be borne initially by the Applicant and thereafter by the Appellant, upon appeal as a part of the cost of the entire written record of the proceedings.

I have read the Application Procedure and the Schedule of Filing Fees and Costs and agree to be bound by the provisions thereof.

Christen G. Pionzio, Esquire
Printed Name of Applicant's Attorney



Attorney for Applicant's Signature and Date 10/26/2023

Springfield Township

Re: Andrew Stephano and Beth Lesko

401 East Mill Road

Attachment to Zoning Hearing Board Application

The A Residential District provides for minimum lot size of 12,500 sq. ft. The subject property is 109,771.2 sq. ft. (2.52 acres). The property is improved with a single-family detached dwelling. It is long and narrow and has 25 ft. of frontage on Cedar Lane to the rear opposite East Mill Road. The applicant proposes to subdivide one lot for a single-family detached dwelling with access to Cedar Lane.

The proposed Lot 1, on which the existing house is located, is 1.51 acres. The proposed Lot 2 is 1.01 acres.

The lot width requirement in the A Residential District is 75 ft. However, the definition of lot width requires the width of the lot to be measured not only at the front yard setback line, but also along the street line and it has to be maintained for the distance in between. This requirement only permits subdivisions of properties that are symmetrical in shape. In this case, it prohibits the development of more than one house on a lot measuring 2.52 acres – almost 9 times the minimum lot requirement. Therefore the code as applied to the subject property creates a hardship for it and prevents reasonable use of it.

The cul-de-sac bulb for Cedar Lane abuts the property thus providing it with 25 ft. of frontage which will provide adequate access for the proposed Lot 2. The variance requested is a minor deviation of the code and the minimum relief necessary to afford reasonable use of the property. The property is surrounded by single family detached dwellings such that what is proposed is in keeping with the character of the neighborhood. There is nothing about the application that is adverse to the public health, safety and welfare.

12

Prepared by:

Trident Land Transfer Company LP
431 West Lancaster Avenue
Devon, PA 19333
Phone: (610)889-7660

Return To:

ATTN: Post-Closing Department
Trident Land Transfer Company LP
Parcel No.: 52-00-11662-00-4

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
52-00-11662-00-4 SPRINGFIELD TOWNSHIP
401 E MILL RD
FLANAGAN ROWENA
B 048 L U 055 1101 09/03/2019

\$15.00
JU

File No.: 19PA05647

DEED

Rowena Flanagan

to

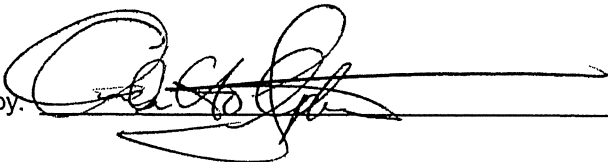
Andre C. Stephano and Beth A. Lesko

PREMISES:

401 East Mill Road
Township of Springfield
County of Montgomery
Pennsylvania
Parcel No.: 52-00-11662-00-4

The address of the above named Grantee(s) is:
401 East Mill Road
Flourtown, PA 19031

Certified by.



DEED

THIS INDENTURE made this 12th day of August, 2019.

Between ROWENA FLANAGAN, (hereinafter called the Grantors) and
ANDRE C. STEPHANO AND BETH A. LESKO, (hereinafter called the Grantees)

Witnesseth That the said Grantors for and in consideration of the sum of lawful money of the United States of America, unto them well and truly paid by the said Grantees, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, have granted, bargained and sold, released and confirmed, and by these presents do grant, bargain and sell, release and confirm unto the said Grantees, their heirs and assigns, as tenants by the entirety.

LEGAL DESCRIPTION ATTACHED HERETO AS EXHIBIT "A"

TOGETHER with all and singular the improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of the said Grantors, as well at law as in equity, of, in, and to the same.

TO HAVE AND TO HOLD the said lot or piece of ground above described with the improvements, hereditaments and premises hereby granted, or mentioned, and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, to and for the only proper use and behoof of the said Grantees, their heirs and assigns, forever.

AND the said Grantors do by these presents, covenant, grant and agree, to and with the said Grantees, their heirs and assigns that the said Grantors all and singular the Hereditaments and premises herein above described and granted, or mentioned and intended so to be with the Appurtenances unto the said Grantees, their heirs and assigns, against the said Grantors and against all and every Person or Persons whomsoever lawfully claiming or to claim the same or any part thereof, by from, or under them or any of them, shall and will WARRANT and forever DEFEND.

EXHIBIT A

ALL THAT CERTAIN tract or parcel of ground with the buildings and improvements thereon erected, situate in Springfield Township, Montgomery County, Pennsylvania, being shown as parcel 52-00-11662-00-4 on a Deed of Correction Exhibit, Sheet 1 of 1, prepared for Rowena Flanagan, prepared by Hibbeln Engineering Company, LLC, dated March 1, 2017, and being more fully described as follows:

BEGINNING at a point in the Southeasterly side of East Mill Road (33 feet wide) at the distance of 1,114.20 feet Southwestwardly from the intersection of the Southeasterly side of said East Mill Road with the Southwesterly side of Church Road (40 feet wide); thence extending along the Southeasterly side of East Mill Road, South 40 degrees 22 feet 00 seconds West, 196.00 feet to an angle point; thence leaving the said Southeasterly side of (and crossing) East Mill Road and extending along a line dividing the lands of N/F Joseph and Rowena Flanagan and N/F S. Miller & Rena Harris and N/F Herbert Menhardt, North 52 degrees 58 minutes 00 seconds West, 605.67 feet to an angle point; thence extending along a line dividing the lands of N/F Joseph and Rowena Flanagan and N/F Onofre P. and Carson C. Vaguer, North 40 degrees 22 feet 00 seconds East, 193.88 feet to a concrete monument, said monument marking the terminus of existing Cedar Lane; thence extending along a line dividing the lands of N/F Joseph and Rowena Flanagan and N/F Richard W. and Helen M. Yost, also crossing through an existing concrete monument marking the Northwesternly Legal Right-of-Way of aforesaid East Mill Road (33 feet wide) to the Southeasterly side of East Mill Road, South 53 degrees 10 feet 00 seconds East, 605.79 feet to the point and place of beginning.

BEING PARCEL NO. 52-00-11662-00-4

Being the same property which Lewis W. Gerhart and Sara Gerhart, granted and conveyed unto Joseph P. Flanagan Jr. and Mary Elizabeth Flanagan, his wife by deed dated August 13, 1954 and recorded August 27, 1954 in the Recorder's Office of said County in Deed Book 2498 Page 441. (As to Parcel A)

Being being part of the same property which Lewis W. Gerhart and Sara Gerhart, granted and conveyed unto Joseph P. Flanagan Jr. and Mary Elizabeth Flanagan, his wife by deed dated January 20, 1958 and recorded January 22,, 1958 in the Recorder's Office of said County in Deed Book 2852 Page 83. (As to Parcel B)

Being being the same property which Joseph P. Flanagan, Jr and Mary Elizabeth Flanagan, granted and conveyed unto Joseph Patrick Flanagan and Rowena Flanagan, tenants by the entirety by deed dated November 26, 2013 and recorded November 26, 2013 in the Recorder's Office of said County in Deed Book 5897 Page 643. (As to Parcel A; Parcel B being erroneously omitted)

The said Joseph Patrick Flanagan having departed this life February 4, 2017.


Being the same property by Deed of Correction from which Joseph P. Flanagan, Jr., marital status not stated, granted and conveyed unto Rowena Flanagan by deed dated March 16, 2017 and recorded March 29, 2017 in the Recorder's Office of said County in Deed Book 6038 Page 1277. (As to Parcel A and B) (Premises B hereon describing whole tract)

AND whereas the legal description of premises B in Deed Book 6038 page 1277 describes premises A and B as a whole.

Parcel No.: 52-00-11662-00-4

IN THE WITNESS WHEREOF, the said Grantors has/have caused these presents to be duly executed dated the day and year first above written.

SEALED AND DELIVERED
In the presence of us:

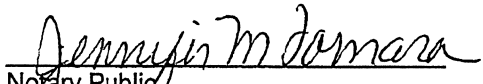

Rowena Flanagan

Commonwealth of Pennsylvania

County of Montgomery

On this, the 12th day of AUGUST 2019, before me, the undersigned Notary Public, personally appeared Rowena Flanagan known to me (or satisfactorily proven) to be the person whose name(s) is/are subscribed to the within instrument, and acknowledged that he/she/they executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.


Notary Public

My Commission Expires: _____

Commonwealth of Pennsylvania - Notary Seal
Jennifer M. Fornara, Notary Public
Montgomery County
My commission expires March 18, 2023
Commission number 1052227
Member, Pennsylvania Association of Notaries

Chapter 114. Zoning

Article V. A Residence District

§ 114-53. Lot width.

[Added 3-11-1970 by Ord. No. 592]

Each lot shall have a minimum lot width of not less than 75 feet extending in depth from the street line to the building line. When a lot borders on more than one public highway or street, the owner may elect one of the streets to establish the minimum lot width for purposes of this section.

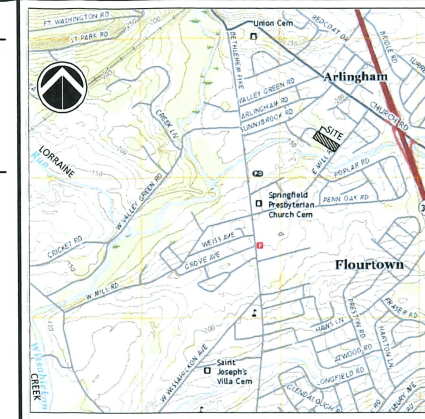
VARIANCE REQUEST

1. A VARIANCE FROM CHAPTER 114 ARTICLE V, SECTION 114-53 LOT WIDTH TO ALLOW THE LOT WIDTH AT THE STREET LINE TO BE 25.05' AND AS IT PERTAINS TO CHAPTER 114.
2. A VARIANCE FROM CHAPTER 114 ARTICLE II, SECTION 114-21 DEFINITION OF LOT WIDTH.

SOIL LEGEND

THE SOILS LOCATED ON-SITE ACCORDING TO THE NCRS WEB SOIL SURVEY (SOILS.USDA.GOV/SURVEY) ARE AS FOLLOWS:

- UH8 - URBAN LAND-BUFFIELD COMPLEX, 0 TO 8 PERCENT SLOPES (HYDROLOGIC SOIL GROUP B)



Germentown, PA U.S.G.S. 7.5 Minute Series Quadrangle
0' 1,000' 2,000' 4,000'
GRAPHIC SCALE
1" = 2,000'

SITE LOCATION MAP

SITE STATISTICS

1. SUBJECT TRACT MAY BE IDENTIFIED BY MONTGOMERY COUNTY TAX ASSESSMENT INFORMATION AS FOLLOWS:
SPRINGFIELD TOWNSHIP (PARID 52-00-11662-00-4)
2. RECORDED DEED DATA IS AS FOLLOWS:
AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF MONTGOMERY IN NORRISTOWN, PENNSYLVANIA IN DEED BOOK 6152, PAGE 00032.
3. NAME AND ADDRESS OF THE OWNER OF THE SUBJECT TRACT:
ANDRE C. STEPHANO & BETH A. LESKO
401 EAST MILL ROAD
FLOURTOWN, PA 19031
4. ADDRESS OF THE SUBJECT TRACT:
401 EAST MILL ROAD
FLOURTOWN, PA 19031
5. AREA STATISTICS:
GROSS TRACT AREA = 2.70 AC
NET TRACT AREA = 2.51 AC
6. WATER SERVICE:
PUBLIC WATER PROVIDED BY AQUA PENNSYLVANIA WATER COMPANY.
7. SANITARY SEWER SERVICE:
PUBLIC SEWER PROVIDED BY BUCKS COUNTY WATER AND SEWER AUTHORITY
8. NAME AND ADDRESS OF GORSKI ENGINEERING, INC. CLIENT:
DELUCA CONSTRUCTION
AT GLENGARRY, LLC
540 WHITE ASH DRIVE
LANGHORN, PA 19047

ZONING DATA

DATA OBTAINED FROM SPRINGFIELD TOWNSHIP ZONING ORDINANCE CHAPTER 114, AS AMENDED; REFERENCE ARTICLE V, SECTIONS 114-52-54.
DISTRICT CLASSIFICATION - "A" - RESIDENCE DISTRICT
PROPOSED USE: SINGLE FAMILY DETACHED DWELLING

	REQUIRED	LOT 1	LOT 2
MIN. LOT AREA:	12,500 S.F.	1.51 AC.	1.01 AC.
MIN. LOT WIDTH:*	75 FT.*		
AT STREET LINE:	75 FT.	195.95 FT.	25.05 FT.
AT BUILDING SETBACK LINE:	75 FT.	195.81 FT.	194.03 FT.
MIN. FRONT YARD SETBACK:	40 FT.	182.2 FT.	58.74 FT.
MIN. SIDE YARD SETBACK:	12 FT.	42.3 FT.	24.63 FT.
MIN. SIDE YARD AGGREGATE:	35 FT.	106.80 FT.	117.37 FT.
MIN. REAR YARD SETBACK:	25 FT.	109.7 FT.	74.21 FT.
MAX. BUILDING COVERAGE:	20.00%	4.28%	6.40%
MAX. BUILDING HEIGHT:	40 FT.	<40 FT.	<40 FT.

* FROM STREET LINE TO BUILDING SETBACK LINE

NOTES

1. PLAN INFORMATION FROM EXISTING DEEDS AND PLANS OF RECORD AND WITH THE BENEFIT OF A TITLE REPORT, TOPOGRAPHY AND BOUNDARY ESTABLISHED BY FIELD SURVEY MADE UPON THE GROUND BY TRACY LAND SERVICES, HATFIELD, PENNSYLVANIA, NOVEMBER 2016. BEARINGS INDICATE STATE PLANE BEARINGS.
2. BENCHMARK ELEVATION: SANITARY SEWER MANHOLE LOCATED NEAR THE NORTHEAST CORNER OF SITE, ADJACENT TO PECO POLE 860. RIM ELEVATION = 175.56.
3. PENNSYLVANIA ONE CALL SYSTEM: 1-800-242-1776. TRACY LAND SERVICES DOES NOT GUARANTEE THE VERTICAL OR HORIZONTAL LOCATION FOR THE EXISTING SUBSURFACE UTILITIES SHOWN HEREON. NOT DOES TRACY LAND SERVICES GUARANTEE ALL SUBSURFACE UTILITIES ARE SHOWN ON THE PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES BEFORE THE START OF WORK AS REQUIRED BY ACT 38.
4. SUBJECT PROPERTY IS NOT LOCATED IN THE 100-YEAR FLOODPLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP OF MONTGOMERY COUNTY, PENNSYLVANIA, PANEL 377 OF 451, MAP NUMBER 42091C03770, EFFECTIVE DATE MARCH 2, 2016.
5. THE PROPOSED BUILDING FOOTPRINT DEPICTED HEREON HAS BEEN TRANSDPOSED FROM PRELIMINARY ARCHITECTURAL PLANS, FINAL BUILDING DIMENSIONS MAY VARY BUT SHALL ULTIMATELY CONFORM TO ALL ZONING REQUIREMENTS.

PARKING TABULATION

PER SPRINGFIELD TOWNSHIP ZONING ORDINANCE, ARTICLE XIII SECTION 114-44.4(1), * ANY DWELLING TWO PARKING SPACES FOR EACH HOMEKEEPING UNIT. GARAGES OR DRIVEWAYS OF INDIVIDUAL UNITS MAY BE CONSIDERED AS PARKING AREAS. NO PARKING SPACE SHALL BE PROVIDED NOR PARKING PERMITTED IN THE REQUIRED FRONT YARD AREAS OF MULTIPLE DWELLINGS.*

ON LOT 1, TWO PARKING SPACES ARE PROVIDED.
ON LOT 2, THREE PARKING SPACES IN THE PROPOSED GARAGE ARE PROPOSED.

401 EAST MILL ROAD
PREPARED FOR
DELUCA CONSTRUCTION
AT GLENGARRY L.L.C.
SITE SITUATE IN
SPRINGFIELD TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

NO.	REVISION	DATE	BY	PLAN ORIGINATOR DATE
1		10/25/2023		SEPTEMBER 24, 2023
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				

ZONING EXHIBIT PLAN

401 EAST MILL ROAD

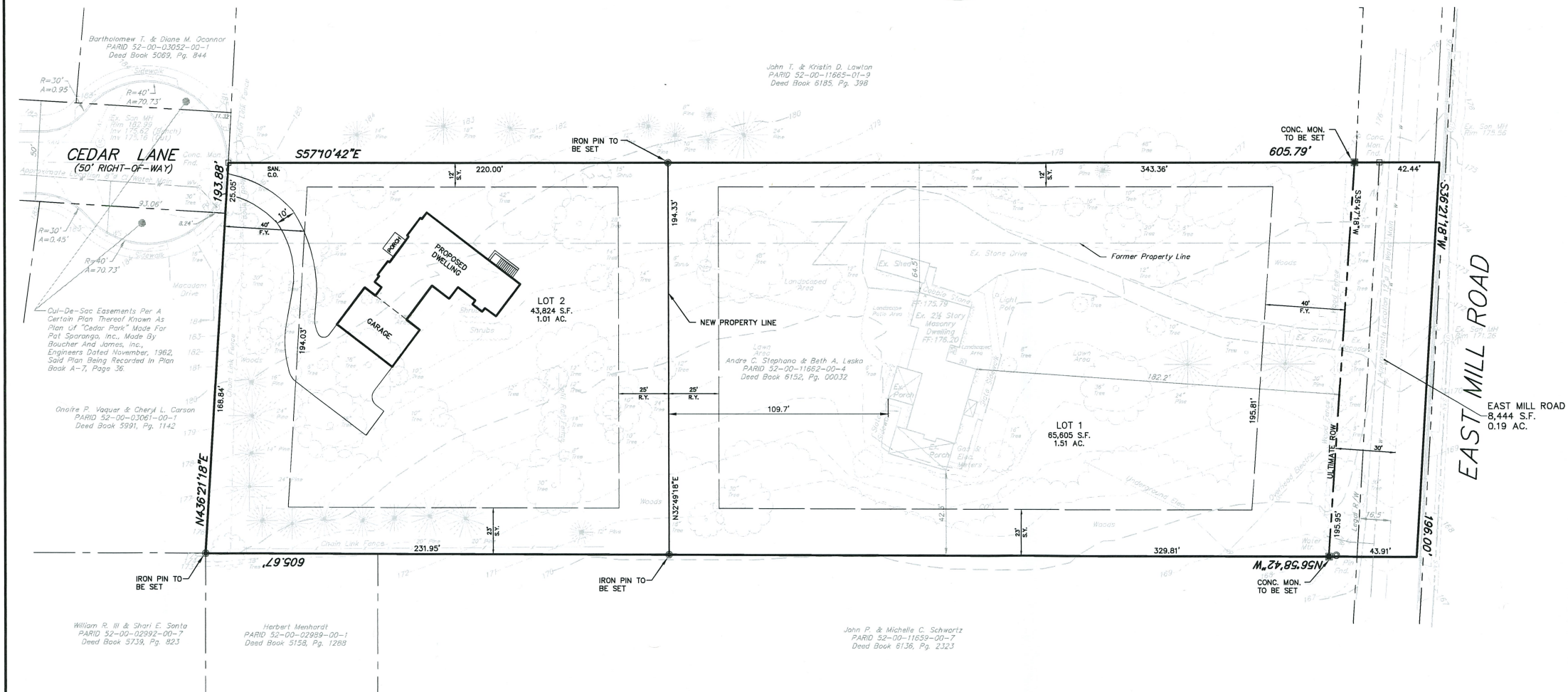
SITE SITUATE IN
SPRINGFIELD TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

PROJECT MANAGER:
AJH
PROJECT NUMBER:
7842

DRAFTED BY:
MNR
DRAWING FILE:
7842 SH01 ZONING

PLAN SCALE:
1" = 30'
PLAN SHEET NUMBER:
1 OF 1

GRAPHIC SCALE
0' 15' 30' 60'



LEGEND

- EXIST BOUNDARY
- EXIST ADJOINING OWNER LINE
- EXIST CURB
- EXIST UNPAVED DRIVE
- EXIST BUILDING
- EXIST RIGHT-OF-WAY
- EXIST CONTOUR
- EXIST INDEX CONTOUR
- PROP LOT LINE
- PROP BUILDING
- PROP DRIVEWAY
- PROP CONCRETE
- PROP IRON PIN
- PROP CONCRETE MONUMENT

CONTRACTOR'S PA ONE CALL DUTY

LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED, PURSUANT TO REQUIREMENTS OF THE PENNSYLVANIA LEGISLATIVE ACT 121, AS PER THE LATEST AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 9, 2008. CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.

GORSKI ENGINEERING, INC.
1 IRON BRIDGE DRIVE,
COLLEGEVILLE, PA 19426
610 489 9131; FAX 610 489 8850